TOWN OF JUPITER INLET COLONY

A MUNICIPAL CORPORATION

NOTICE OF PUBLIC MEETING: BUILDING AND ZONING COMMITTEE
LOCATION: TOWN HALL, 50 COLONY ROAD
DATE AND TIME: THURSDAY, JANUARY 18, 2024 AT 5:00 PM

Join by Zoom at: https://zoom.us/join
OR dial-in by location:

+1-301-715-8592	+1-253-215-8782
+1-312-626-6799	+1-346-248-7799
+1-929-205-6099	+1-669-900-6833

Meeting ID: 585 628 8134
Password: 3787

MEETING AGENDA

1. Call to Order.

2. Roll Call: Russell Bourne (Acting Chair), Butch Harper, William Gilbane, Brad Eavenson, Roger Siboni. Planning and Zoning Administrator: Bill Whiteford

3. Election:

   A. Chair
   B. Vice Chair

4. Motion to approve prior minutes – November 30, 2023 meeting

5. Public Comments - items not on the agenda (3 minutes).

6. Continued Item:

   A. #4 Ocean Drive: new two-story residence with outdoor pool. Total under air: 5,320 sf. Total square footage: 7,702 sf. Lot occupancy calculation: 49.96% (50% allowed). Maximum building height: 24.0' (25' allowed).

7. Discussion Item:

   A. Minimum landscape requirements for single family residences

8. Any Other Matters.

9. Motion to Adjourn.

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town Administrative Office at 50 Colony Road, Jupiter Inlet Colony, FL 33469, or by telephone at 561-746-3787, prior to the meeting.

TOWN OF JUPITER INLET COLONY

A MUNICIPAL CORPORATION

TOWN OF JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING
NOVEMBER 30, 2023

MEETING MINUTES

1. Call to Order. Earl Fischer, Chair, called the workshop to order at 5:03 pm

2. Roll Call:

   Earl Fischer (Chair), Present
   Russell Bourne (Vice Chair), Present
   Butch Harper, Absent
   William Gilbane, Present
   Brad Eavenson, Present
   Roger Siboni, Present
   Bill Muir, Absent
   Planning and Zoning Administrator: Bill Whiteford – Present

   Also in attendance: Mike Armato, CEA Building Group, Chris Sorenson, CEA Building Group, Mitch Miller, Village Architects, Matt Carrara, resident.

3. Motion to approve prior minutes – July 27, 2023 Meeting, August 17, 2023 Workshop, September 21, 2023 Workshop.

   Motion to approve all minutes was made by Roger Siboni, motion was seconded by Brad Eavenson, motion passed unanimously.

4. Public Comments - items not on the agenda (3 minutes).

   Matt Carrara brought up discussion on security camera installations. Committee discussed height of security cameras, and issues of homeowner's privacy. Earl stated that this needs to be discussed. Bill Whiteford suggested that this issue needs to be brought up at Commission level, Earl Fischer suggested requiring a permit so that it can be regulated.

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5. New Item:

A. #4 Ocean Drive: new two-story residence with outdoor pool. Total under air: 5,320 sf. Total square footage: 7,702 sf. Lot occupancy calculation: 49.77% (50% allowed). Maximum building height: 24.0' (25' allowed).

Bill Whiteford provided an overview of the plans and report from Gary Rager, GeoPoint Surveying, for 4 Ocean to the Committee. Mr. Miller, architect for the project, stated that updates to the plans were submitted just prior to the meeting. The Committee discussed some of the other questions that Chad Gruber, Civil Engineer for the project, needed to talk with Tom Jensen about. There is a Federal easement on the North property line, a Removal Agreement was submitted, and the Town needs acknowledgement from the owners of 3 Ocean regarding shared access to the dune walkover. Mike Armato stated that it is in the works.

Question was raised by Mr. Miller: Who puts together the plan for the dune walkover? There is a proposed cross access between 3 and 4 Ocean and maintenance of the landscape will be a condition of the impact review. Roger Siboni stated that there was discussion on the height of the retaining wall, the sea grapes, and recommends that one person maintain the sea grapes and expense for each homeowner will be allocated by square feet of area maintained for each. Need and agreement between 4 & 5 Ocean on the landscaping.

Vote is tabled until the next Building and Zoning meeting to included outstanding items between homeowners:

- Walkover Agreement
- Sea Grapes / Landscaping Agreement
- Letter of "No Objection" from the Town to the DEP

6. Discussion Item:

A. Permit Fees and Time Extensions, Resolution 2019-07.

This item was put on the agenda by a request from Mayor Chip Block, but the committee is waiting for a Building and Permit Utilization report from Rick Hartley before it can make its recommendation to the Commission.

STATE MANDATED STATEMENT

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Bill Whiteford reviewed items of discussion on the minutes from Workshop of September 21, 2023, and there was a short discussion on permit renewals. Matt Carrara recommended that a force majeure provision be added to the language, which the Committee discussed, and Bill Whiteford stated that the State of Florida will typically issue a moratorium on permit fees in the event of a natural disaster or other event.

7. Any Other Matters.

   A. Earl Fischer stated that he will be stepping down in January. Committee needs to get the word out for anyone that would like to sit on the B&Z Committee. Both Earl Fischer and Bill Muir will be leaving the B&Z Committee.

8. Motion to Adjourn. Motion to adjourn made by Russell Bourne, motion seconded by Brad Eavenson, motion passed unanimously, and the meeting adjourned at 6:04 p.m.

Approved, Attest,

_____ _____

Earl Fischer, Chair Kathi Cornelius, Deputy Town Clerk

STATE MANDATED STATEMENT

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VILLAGE
ARCHITECTS AIA

Mitchell E. Miller
400 N. Cypress Drive, Suite 21
Tequesta, Florida 33469
(561)743-4959 ph
(561)743-1225 fax
Mitch.Miller@Village-Architects.com
www.Village-Architects.com

November 1, 2023

Town of Jupiter Inlet Colony
50 Colony Road
Jupiter Inlet Colony, FL 33469

Re: Gooch Residence
4 Ocean Drive

To whom it may concern,

Below is a brief narrative desribing the new residence at the above listed property within Jupiter Inlet Colony.

A new two story home, driveway, pool and patio will be built at the vacant lot within the proposed building setbacks. The proposed first floor slab will be slightly higher (1.07') than the current floor slab elevation. The new home will consist of a 2 1/2 car garage, 4 bedrooms, 6 baths, and 1 half bath. The house will be built on a piling foundation system so as to meet coastal construction requirements set by the state of Florida and there is no basement. The exterior style of the home is "Island Modern" and the roof is flat.

If you have any questions or comments regarding this contract, please call.

Sincerely,

Mitchell E. Miller, AIA, NCARB
(Principal of the Corporation)

MEM/mem

LOT COVERAGE BY BUILDINGS (2-STORY)

LOT AREA	16,800	SQ. FT.
FIRST FLOOR AIR CONDITIONED AREA	2,897	SQ. FT.
SECOND FLOOR AIR CONDITIONED AREA	2,423	SQ. FT.
GARAGES	1,113	SQ. FT.
COVERED ENTRY	79	SQ. FT.
COVERED LANAI	593	SQ. FT.
COVERED PORCH	226	SQ. FT.
SIDE ENTRY	72	SQ. FT.
BALCONY	135	SQ. FT.
CANTILEVERED BALCONY	87	SQ. FT.
UNINHABITABLE AREA UNDER UPPER ENTRY EAVE	77	SQ. FT.
TOTAL FLOOR BUILDING AREA	7,702	SQ. FT.
FLOOR AREA PERCENTAGE CALCULATIONS:		
MAX ALLOWED LOT COVERAGE PERCENTAGE: (5,376/16,800)	32.00	PERCENT
PROPOSED LOT COVERAGE PERCENTAGE: (4,980/16,800)	29.64	PERCENT
MAX ALLOWED SECOND TO FIRST FLOOR PERCENTAGE: (2,988/4,980)	60.00	PERCENT
PROPOSED SECOND TO FIRST FLOOR PERCENTAGE: (2,722/4,980)	54.66	PERCENT
MAX ALLOWED TOTAL LOT PERCENTAGE: (8,400/16,800)	50.00	PERCENT
TOTAL LOT PERCENTAGE: (7,702/16,800)	45.85	PERCENT

LOT OCCUPANCY

LOT AREA	16,800	SQ. FT.
HOUSE FOOTPRINT-ENCLOSED	4,011	SQ. FT.
COVERED ENTRY	79	SQ. FT.
COVERED LANAI	593	SQ. FT.
COVERED PORCH	226	SQ. FT.
SIDE ENTRY	72	SQ. FT.
PATIOS AND DECKS	62	SQ. FT.
DRIVEWAY, PARKING AREAS	1419	SQ. FT.
EQUIPMENT PADS	190	SQ. FT.
UNDER EAVES GREATER THAN 24"	0	SQ. FT.
UNDER BREEZEWAYS	0	SQ. FT.
WALKS AND STEPPING STONES	213	SQ. FT.
POOL	360	SQ. FT.
POOL DECK	848	SQ. FT.
BOUNDRY WALLS	0	SQ. FT.
SEAWALLS	0	SQ. FT.
DUNE CROSSOVER (ON PROPERTY)	59	SQ. FT.
OTHER HARDSCAPE (RETAIN, PRIVACY WALLS)	262	SQ. FT.
TOTAL LOT OCCUPANCY AREA	8,394	SQ. FT.
PROPOSED LOT COVERAGE	49.96%	8,394 SF
MAX ALLOWABLE LOT COVERAGE	50.0%	8,400 SF

CONTRACTOR TO VERIFY ALL SQUARE FOOTAGES

DOCUMENT QUALIFICATION

THIS DRAWING WAS PREPARED BASED ON INFORMATION PROVIDED BY THE OWNER AND OR THE CONTRACTOR IN THE FORM OF A BOUNDARY SURVEY PREPARED BY **LIDBERG LAND SURVEYING, INC.** DATED **4-27-23** DRAWING NO. **23-044-112** SHEET 1 OF 1. USE WITHOUT VERIFICATION WILL BE AT THE USER'S SOLE RISK. THE USER SHALL INDEMNIFY THE ARCHITECT "VILLAGE ARCHITECTS AIA" FROM ALL CLAIMS AND LOSSES RESULTING FROM SUCH USE. THE DELIVERY OF THIS DRAWING TO THE USER SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR A GUARANTEE TO ANYONE THAT CERTAIN CONDITIONS EXIST OR THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE ARCHITECT OF ANY SHOP DRAWING BASED ON THIS INFORMATION. USE OF THIS DRAWING IN NO WAY RELIEVES ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT OR OTHER MEANS.

SITE NOTES

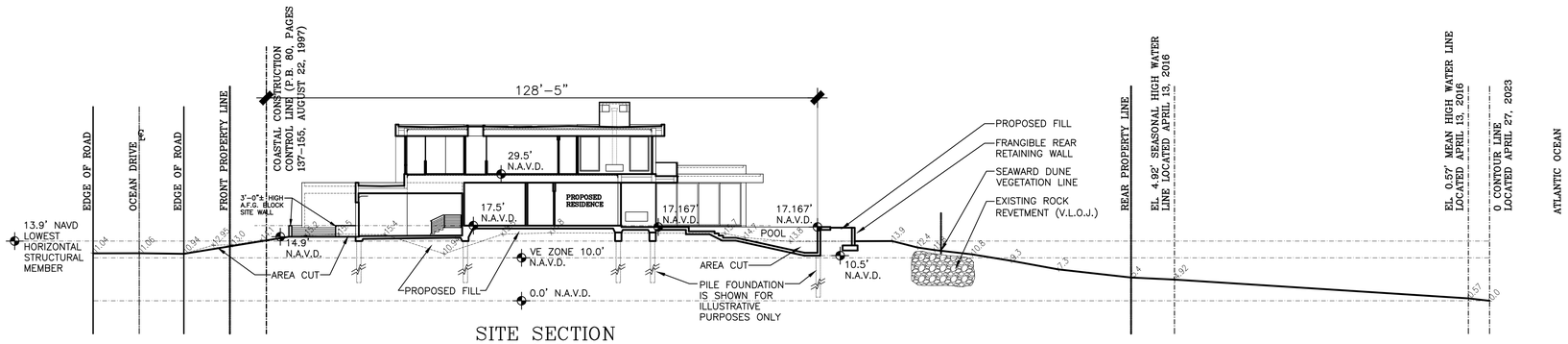
1. VERIFY LOCATION OF UTILITIES WITH SUBDIVISION BEFORE PROCEEDING WITH WORK.
2. DRAINAGE TO BE INDICATED ON LANDSCAPE PLAN.
3. CONNECTION INSPECTION OF UTILITIES REQUIRED PRIOR TO BACKFILL
4. CONTRACTOR TO HAVE CERTIFIED FLORIDA SURVEYOR LAYOUT BUILDING ON LOT TO ASSURE THAT NO SETBACKS OR EASEMENTS ARE ENCROACHED
5. CONTRACTOR SHALL PROVIDE SOIL BORING TEST AND DEMUCK AND REPACK SOIL AS REQUIRED.
6. CONTRACTOR TO PROVIDE (1) 4" AND (1) 6" PVC SLEEVE UNDER DRIVEWAY

PARTIAL LEGAL DESCRIPTION

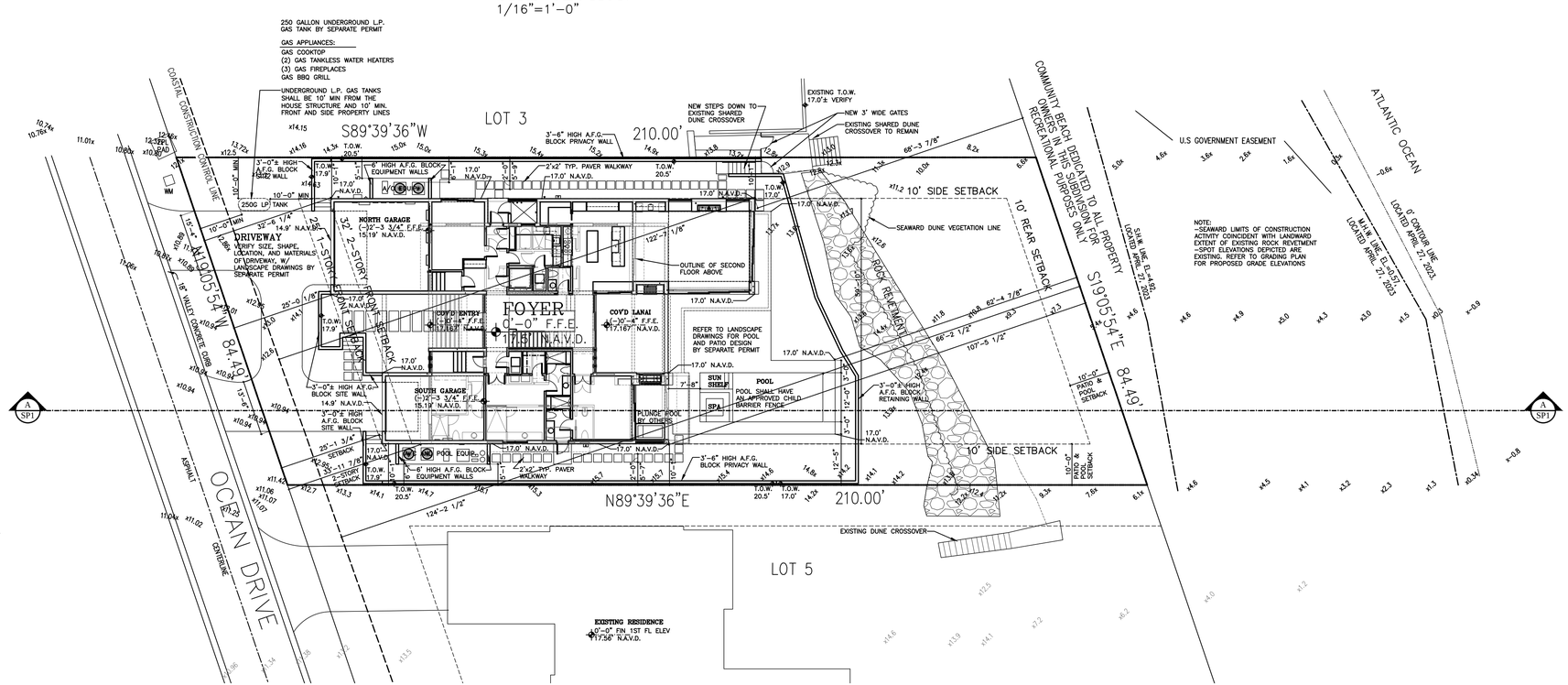
LOT 4, PLAT OF JUPITER INLET BEACH COLONY, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 24, PAGE 139.

THE PROPERTY LIES WITHIN FLOOD ZONE VE

DESIGN CODES:
FLORIDA BUILDING CODE, RESIDENTIAL, 7TH EDITION (2020)
W/ AMENDMENTS TO THE FBC, CH1 ADMINISTRATION
FBC ENERGY CONSERVATION 7TH EDITION (2020)
FBC RESIDENTIAL 7TH EDITION (2020)
FBC EXISTING BUILDING 7TH EDITION (2020)
FBC MECHANICAL 7TH EDITION (2020)
FBC PLUMBING 7TH EDITION (2020)
NEC NFPA 70 2020 EDITION
FS FLORIDA STATUTES



SITE SECTION
1/16"=1'-0"



SITE PLAN
1/16"=1'-0"

NOT FOR CONSTRUCTION

VILLAGE
ARCHITECTS AIA
400 N CYPRESS DRIVE, SUITE 21
Tequesta, FL 33469
Phone: 561-743-4959
Fax: 561-743-1225
www.Village-Architects.com
AA26001195

GOOCH RESIDENCE
4 OCEAN DRIVE
JUPITER INLET COLONY
JUPITER, FLORIDA

Seal :

Mitchell E. Miller
Florida License No. AR91772
As Principal of
Village Architects AIA, Inc.

Copyright © 2023
Village Architects AIA
All rights reserved.

These drawings are the Property of the architect and are not to be used for any other projects except by agreement with The architect in writing.

Consultant:

Revisions :
11-1-23 JIC REVIEW
12-21-23 JIC REVIEW

Sheet Title:
SITE PLAN

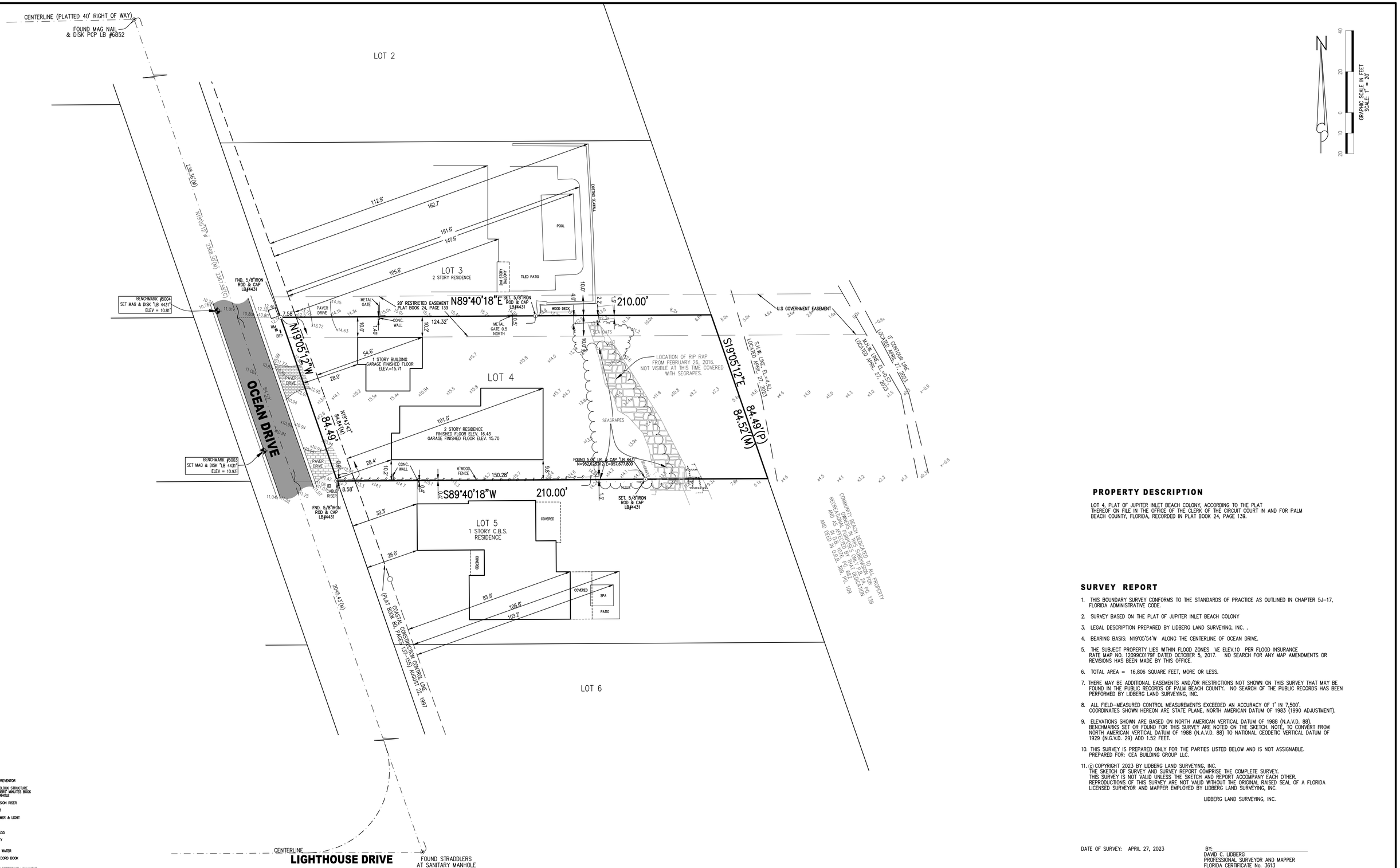
Scale:
1/16" = 1'-0"

Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.

SP1

Print Date: 12-14-23



PROPERTY DESCRIPTION

LOT 4, PLAT OF JUPITER INLET BEACH COLONY, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 24, PAGE 139.

SURVEY REPORT

1. THIS BOUNDARY SURVEY CONFORMS TO THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
2. SURVEY BASED ON THE PLAT OF JUPITER INLET BEACH COLONY
3. LEGAL DESCRIPTION PREPARED BY LIDBERG LAND SURVEYING, INC. .
4. BEARING BASIS: N19°05'54"W ALONG THE CENTERLINE OF OCEAN DRIVE.
5. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONES VE ELEV.10 PER FLOOD INSURANCE RATE MAP NO. 12099C0179F DATED OCTOBER 5, 2017. NO SEARCH FOR ANY MAP AMENDMENTS OR REVISIONS HAS BEEN MADE BY THIS OFFICE.
6. TOTAL AREA = 16,806 SQUARE FEET, MORE OR LESS.
7. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY LIDBERG LAND SURVEYING, INC.
8. ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1' IN 7,500'. COORDINATES SHOWN HEREON ARE STATE PLANE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
9. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88). BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH. NOTE, TO CONVERT FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 29) ADD 1.52 FEET.
10. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. PREPARED FOR: CEA BUILDING GROUP LLC.
11. © COPYRIGHT 2023 BY LIDBERG LAND SURVEYING, INC. THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY LIDBERG LAND SURVEYING, INC.

LIDBERG LAND SURVEYING, INC.

DATE OF SURVEY: APRIL 27, 2023

BY:
DAVID C. LIDBERG
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 3613

ABBREVIATIONS:

BFP = BACK FLOW PREVENTOR
(C) = CALCULATED
C.B.S. = CONCRETE BLOCK STRUCTURE
C.M.B. = COMMISSIONERS' MINUTES BOOK
CMH = CONFLICT MANHOLE
CONC. = CONCRETE
CTR = CABLE TELEVISION RISER
D.B. = DEED BOOK
F.H. = FIRE HYDRANT
FND. = FOUND
F.P.L. = FLORIDA POWER & LIGHT
I.P. = IRON PIPE
INV. = INVERT
I.R. = IRON ROD
LB = LICENSE BUSINESS
LP = LIGHT POLE
LS = LICENSE SURVEY
(M) = MEASURED
MH = MANHOLE
M.H.W. = MEAN HIGH WATER
MON. = MONUMENT
O.R.B. = OFFICIAL RECORD BOOK
(P) = PLATTED
P.B. = PLAT BOOK
P.R.M. = PERMANENT REFERENCE MONUMENT
R.O.W. = RIGHT-OF-WAY
RCP = REINFORCED CONCRETE PIPE
R.P.B. = ROAD PLAT BOOK
(S) = SURVEY
S.H.W. = SEASONAL HIGH WATER
SLP = STOP LIGHT POLE
SMH = SANITARY MANHOLE
SBTMH = SOUTHERN BELL TELEPHONE MANHOLE
S.M.H. = STORM MANHOLE
TR = TRAFFIC ROAD
TLP = TRAFFIC LIGHT POLE
TV = TELEVISION
U.E. = UTILITY EASEMENT
WM = WATER METER
WP = WOOD POLE
WUP = WOOD UTILITY POLE
WV = WATER VALVE

DATE:	REVISIONS:	BY:

LIDBERG LAND SURVEYING, INC.
LB4431
675 West Indiantown Road, Suite 200, Jupiter, Florida 33458 TEL. 561-746-8454

BOUNDARY SURVEY - LOT 4
JUPITER INLET BEACH COLONY
(COASTAL CONSTRUCTION CONTROL LINE)
PREPARED FOR:
CEA BUILDING GROUP LLC

CAD. K:\AUTOCAD2000 \ 314043 \ 24-139 \ 23-044 \DWG\ 23-044-112.DWG			
REF.			
FLD. K.F.	FB. 826	PG. 28-30	JOB 23-044-112
OFF. M.R.			DATE 04/27/2023
CKD. D.C.L.	SHEET 1	OF 2	DWG. D23-044

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November 8, 2023

GeoPoint Surveying, Inc.

Bill Whiteford, PhD, AICP,
Planning and Zoning Administrator
50 Colony Road
Jupiter Inlet Colony, Florida 33469

RE: 4 Ocean Drive, Jupiter Inlet Colony, Florida 33469 – Lot 4

Dear Bill,

We have reviewed the files we received November 7, 2023 of Lot 4. We find items relevant to the code are listed below, and additional areas of concern are stated also:

1. 50% Max. Lot area coverage calculation = 7,366 sq. ft. or 44%, 8,326 provided.
2.
a) 32% Max First Floor Coverage = 4,979 sq. ft. or 30%, 4,980 provided
b) 60% Max (of first) Second Floor = 2,428 sq. ft. or 49%, 2,772 provided.
c) 50% Total Floor Coverage 7,407 sq. ft. or 44% - 7,702 provided.
3. 24' Building Height to the top: 24' plan. Wall height is 24'. (South)
4. Roof eave: Plan shows it to be 2 when provided.
5. Pool: meets setbacks (10' from Side).
6. 3 car garage, outdoor spaces provided. The driveway appears to be 14' wide, the provided flare is 17.5'.
7. Windows, review of the proposed right elevation shows about 11% calculated.
8. The building did meet the setbacks of 10' on the sides, 25' front (first floor) and 10' in the rear. And the two story is over 32' setback for the front setback.
9. 30% Front Yard Landscape is: 52% green

Sincerely,

Gary A. Rager, P.S.M.
License No. LB4828
Vice President
Director of East Coast Operations

4152 W. Blue Heron Boulevard, Suite 105, Riviera Beach, Florida 33404
Tel: (561) 444-2720 • Fax: (813) 248-2266
www.geopointsurvey.com

Bill Whiteford

To: Mitch Miller
Cc: Sam Miller; Jensen, Tom (Tom.Jensen@kimley-horn.com); Chuck Yannette; Richard Clarke; Michael Armato; Matthew Percy; Chad Gruber
Subject: RE: 4 Ocean Drive JIC_grading and drainage plan

Hi Bill,

There were no changes to the house. The only change made was regarding the shared dune crossover (see attached). We met with Mr. Ryan and his wife and reviewed the current shared wood deck and stairs. Mr. Ryan agreed to continuing to share the access but wanted a few changes. He wanted the steps on our side relocated so that he didn't see them from his steps and gates added at the bottom of both his and our steps to create more privacy and to keep people from wandering from one property to the other. The existing deck area and steps will remain with repairs being made by Ms. Gooch as needed during construction. Mike Armato also suggested replacing the old rotted pressure treated decking with Ipe decking. Jared Gaylord was also present at the site meeting and was preparing an agreement letter for both parties to sign.

Let me know if you have any questions or concerns.

Mitch

On Dec 18, 2023, at 12:00 PM, Bill Whiteford <wcw@teamplaninc.com> wrote:

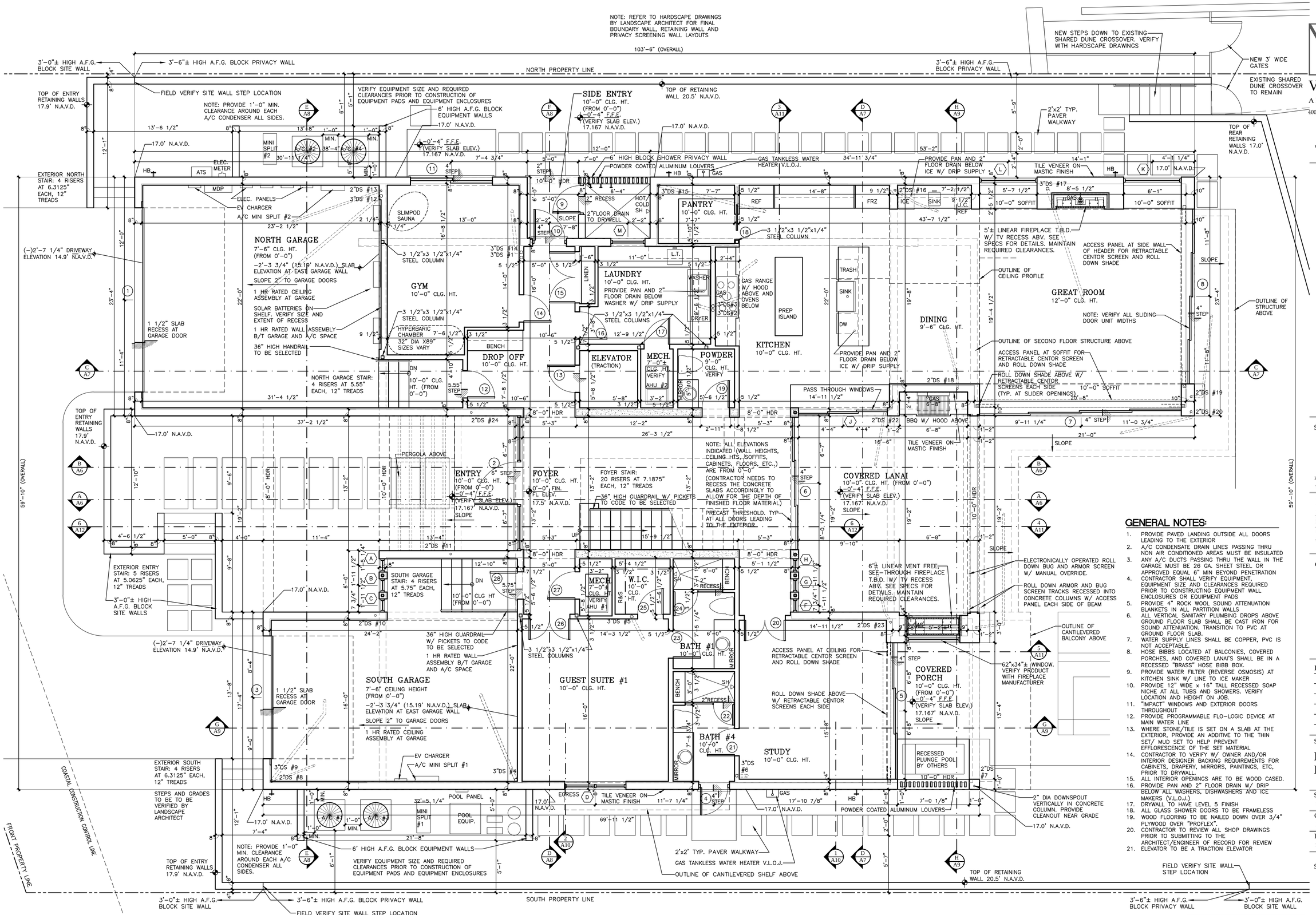
Hi Sam – it's a lot to review before the meeting on Thursday. Please summarize the changes in a memo and highlight any significant changes on the plans to expedite their review. Send the CAD file asap, we may need Gary Rager to review it again. Thanks, Bill

Bill Whiteford, PhD, AICP, LEED® BD+C & ND
<image001.png>
Principal, TEAM PLAN INC.
o 561.630.6820 | c 561.706.2100
www.teamplaninc.com
<image002.png>

From: Sam Miller <sam.miller@village-architects.com>
Sent: Friday, December 15, 2023 12:17 PM
To: Bill Whiteford <wcw@teamplaninc.com>
Cc: Mitch Miller <mitch.miller@village-architects.com>; Jensen, Tom (Tom.Jensen@kimley-horn.com) <Tom.Jensen@kimley-horn.com>; Chuck Yannette <chuck@pydg.com>; Richard Clarke <richard.clarke@village-architects.com>; Michael Armato <michael.mastercraft@gmail.com>; Matthew Percy <matt.oceanichomes@gmail.com>; Chad Gruber <chad@gruberengineers.com>
Subject: RE: 4 Ocean Drive JIC_grading and drainage plan

Hi Bill,
Attached is our 4 Ocean JIC submittal set for the review meeting on the 21st. We're working on tracking down the finish floor elevation for 3 Ocean, we can forward that over as soon as we find out. Let me know if you need anything else for the review.

Thank you,
Sam



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES:

1. PROVIDE PAVED LANDING OUTSIDE ALL DOORS LEADING TO THE EXTERIOR
2. A/C CONDENSATE DRAIN LINES PASSING THRU NON AIR CONDITIONED AREAS MUST BE INSULATED
3. ANY A/C DUCTS PASSING THRU THE WALL IN THE GARAGE MUST BE 26 GA. SHEET STEEL OR APPROVED EQUAL 6" MIN BEYOND PENETRATION
4. CONTRACTOR SHALL VERIFY EQUIPMENT, EQUIPMENT SIZE AND CLEARANCES REQUIRED PRIOR TO CONSTRUCTING EQUIPMENT WALL ENCLOSURES OR EQUIPMENT PADS
5. PROVIDE 4" ROCK WOOL SOUND ATTENUATION BLANKETS IN ALL PARTITION WALLS
6. ALL VERTICAL SANITARY PLUMBING DROPS ABOVE GROUND FLOOR SLAB SHALL BE CAST IRON FOR SOUND ATTENUATION. TRANSITION TO PVC AT GROUND FLOOR SLAB.
7. WATER SUPPLY LINES SHALL BE COPPER, PVC IS NOT ACCEPTABLE.
8. HOSE BIBBS LOCATED AT BALCONIES, COVERED PORCHES, AND COVERED LANAI'S SHALL BE IN A RECESSED "BRASS" HOSE BIBB BOX.
9. PROVIDE WATER FILTER (REVERSE OSMOSIS) AT KITCHEN SINK W/ LINE TO ICE MAKER
10. PROVIDE 12" WIDE x 16" TALL RECESSED SOAP NICHE AT ALL TUBS AND SHOWERS. VERIFY LOCATION AND HEIGHT ON JOB.
11. "IMPACT" WINDOWS AND EXTERIOR DOORS THROUGHOUT
12. PROVIDE PROGRAMMABLE FLO-LOGIC DEVICE AT MAIN WATER LINE
13. WHERE STONE/TILE IS SET ON A SLAB AT THE EXTERIOR, PROVIDE AN ADDITIVE TO THE THIN SET/ MUD SET TO HELP PREVENT EFFLORESCENCE OF THE SET MATERIAL
14. CONTRACTOR TO VERIFY W/ OWNER AND/OR INTERIOR DESIGNER BACKING REQUIREMENTS FOR CABINETS, DRAPERY, MIRRORS, PAINTINGS, ETC, PRIOR TO DRYWALL.
15. ALL INTERIOR OPENINGS ARE TO BE WOOD CASED.
16. PROVIDE PAN AND 2" FLOOR DRAIN W/ DRIP BELOW ALL WASHERS, DISHWASHERS AND ICE MAKERS (V.L.O.J.)
17. DRYWALL TO HAVE LEVEL 5 FINISH
18. ALL GLASS SHOWER DOORS TO BE FRAMELESS
19. WOOD FLOORING TO BE NAILED DOWN OVER 3/4" PLYWOOD OVER "PROFLEX".
20. CONTRACTOR TO REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW
21. ELEVATOR TO BE A TRACTION ELEVATOR

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JUPITER, FLORIDA

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12-21-23 JIC REVIEW

Sheet Title:
FIRST FLOOR PLAN

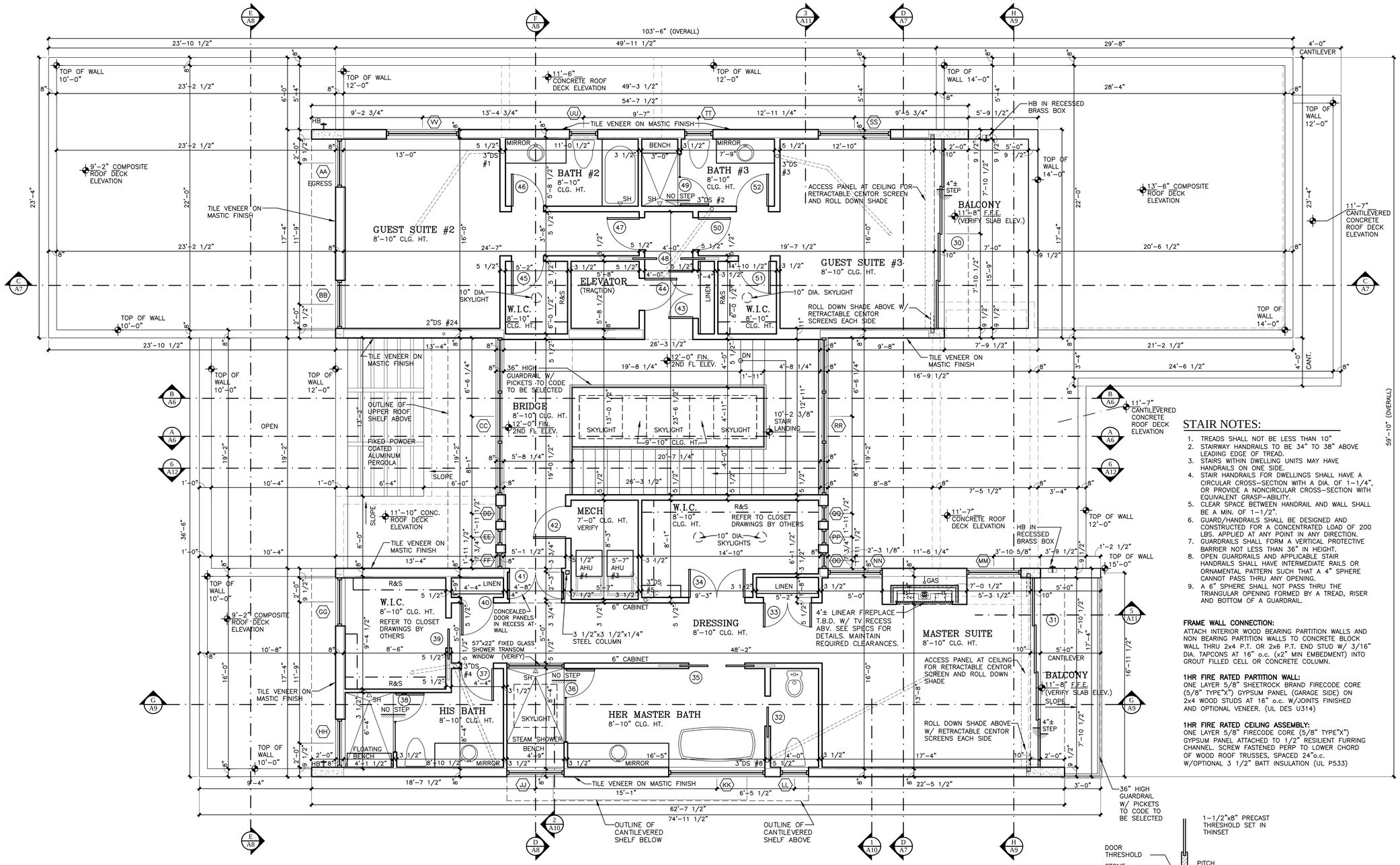
Scale:
1/4" = 1'-0"

Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.

A1

Print Date: 12-14-23



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

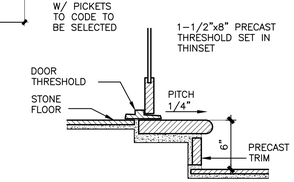
STAIR NOTES:

1. TREADS SHALL NOT BE LESS THAN 10"
2. STAIRWAY HANDRAILS TO BE 34" TO 38" ABOVE LEADING EDGE OF TREAD.
3. STAIRS WITHIN DWELLING UNITS MAY HAVE HANDRAILS ON ONE SIDE.
4. STAIR HANDRAILS FOR DWELLINGS SHALL HAVE A CIRCULAR CROSS-SECTION WITH A DIA. OF 1-1/4", OR PROVIDE A NONCIRCULAR CROSS-SECTION WITH EQUIVALENT GRASP-ABILITY.
5. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MIN. OF 1-1/2".
6. GUARD/HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION.
7. GUARDRAILS SHALL FORM A VERTICAL PROTECTIVE BARRIER NOT LESS THAN 36" IN HEIGHT.
8. OPEN GUARDRAILS AND APPLICABLE STAIR HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THRU ANY OPENING.
9. A 6" SPHERE SHALL NOT PASS THRU THE TRIANGULAR OPENING FORMED BY A TREAD, RISER AND BOTTOM OF A GUARDRAIL.

FRAME WALL CONNECTION:
ATTACH INTERIOR WOOD BEARING PARTITION WALLS AND NON BEARING PARTITION WALLS TO CONCRETE BLOCK WALL THRU 2x4 P.T. OR 2x6 P.T. END STUD W/ 3/16" DIA. TAPCONS AT 16" o.c. (x2" MIN EMBEDMENT) INTO GROUT FILLED CELL OR CONCRETE COLUMN.

1HR FIRE RATED PARTITION WALL:
ONE LAYER 5/8" SHEETROCK BRAND FIRECODE CORE (5/8" TYPE"X") GYPSUM PANEL (GARAGE SIDE) ON 2x4 WOOD STUDS AT 16" o.c. W/JOINTS FINISHED AND OPTIONAL VENEER. (UL DES U314)

1HR FIRE RATED CEILING ASSEMBLY:
ONE LAYER 5/8" FIRECODE CORE (5/8" TYPE"X") GYPSUM PANEL ATTACHED TO 1/2" RESILIENT FURRING CHANNEL. SCREW FASTENED PERP TO LOWER CHORD OF WOOD ROOF TRUSSES, SPACED 24"o.c. W/OPTIONAL 3 1/2" BATT INSULATION (UL P533)



THRESHOLD DETAIL

SCALE: 1-1/2"=1'-0"

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Sheet Title:
SECOND FLOOR PLAN

Scale:
1/4" = 1'-0"

Comm. : 23-006	Date : 4-10-23
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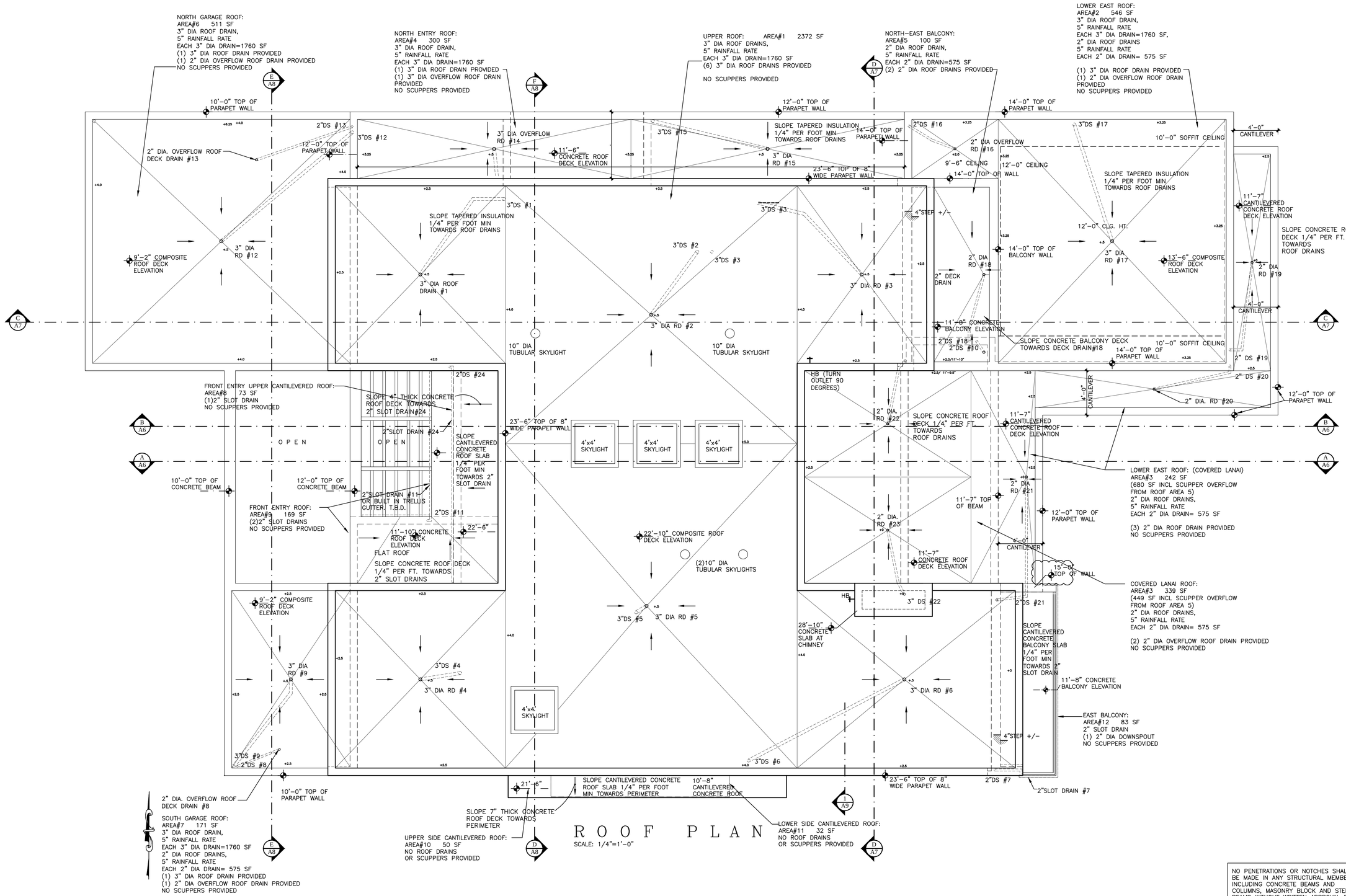
Sheet No.

A2

Print Date: 12-14-23



ROOF PLAN

SCALE: 1/4"=1'-0"

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12-6-23
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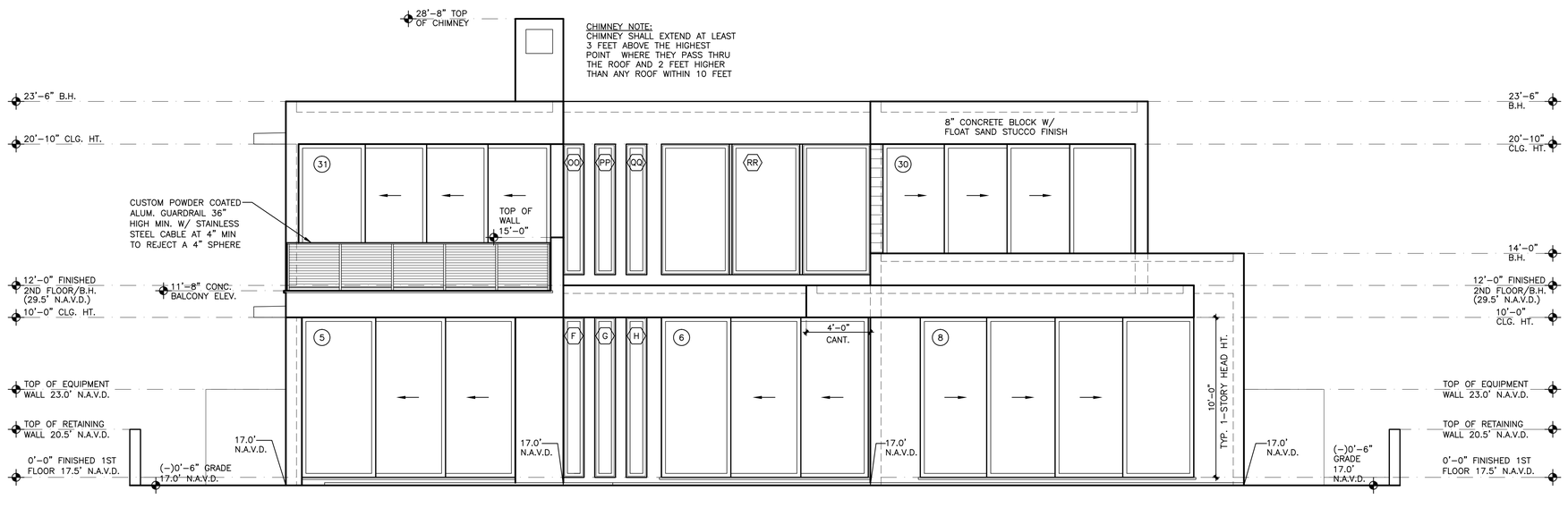
Sheet Title:
ROOF PLAN

Scale:
1/4" = 1'-0"

Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.
A3

Print Date: 12-14-23

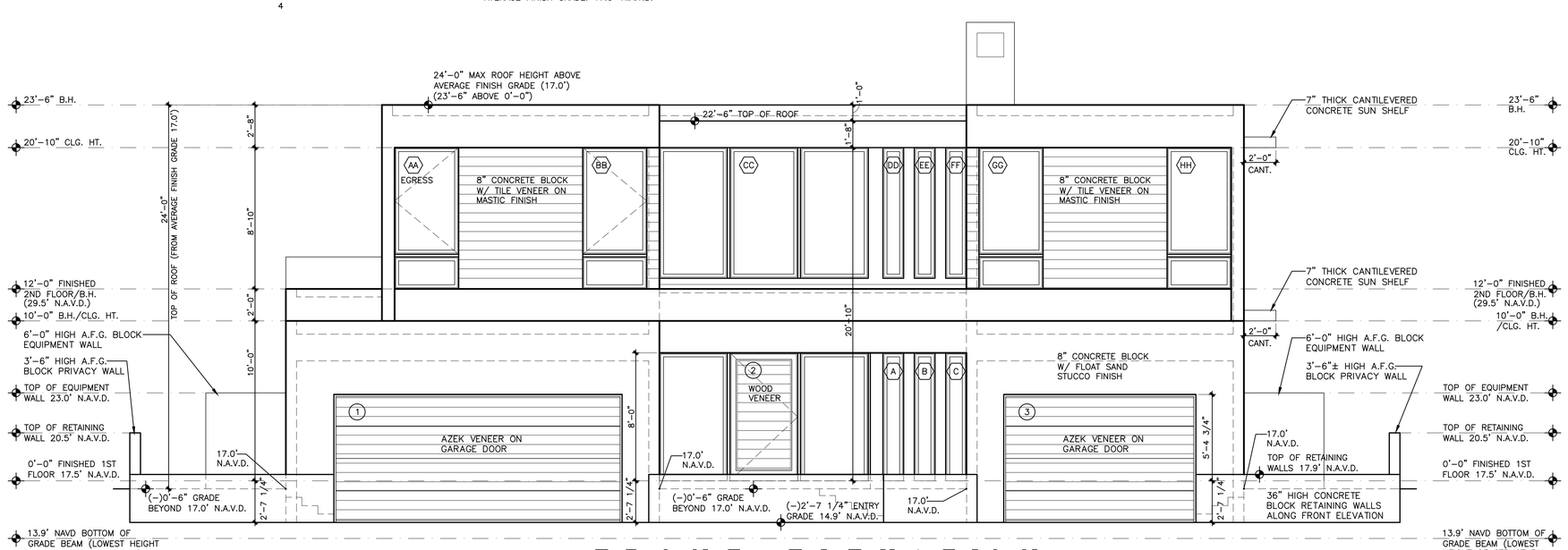


REAR ELEVATION
(EAST)

SCALE: 1/4"=1'-0"

EAST WALL AREA: 1379 SF
EAST WALL OPENINGS: 813 SF
PERCENTAGE OF OPENINGS: 58.9%

$$\frac{17.0'(\text{AVG. FRONT})+17.0'(\text{AVG. RIGHT SIDE})+17.0'(\text{AVG. LEFT SIDE})+17.0'(\text{AVG. REAR})}{4} = \text{AVERAGE FINISH GRADE: } 17.0' \text{ N.A.V.D.}$$



FRONT ELEVATION
(WEST)

SCALE: 1/4"=1'-0"

WEST WALL AREA: 1505 SF
WEST WALL OPENINGS: 639 SF
PERCENTAGE OF OPENINGS: 42.4%

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ELEVATIONS

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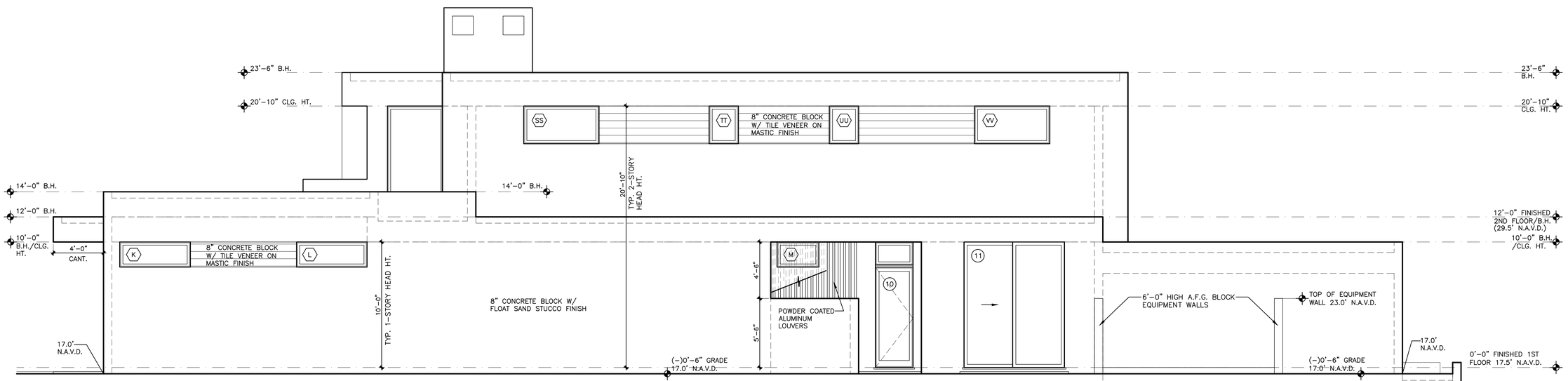
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.
A4

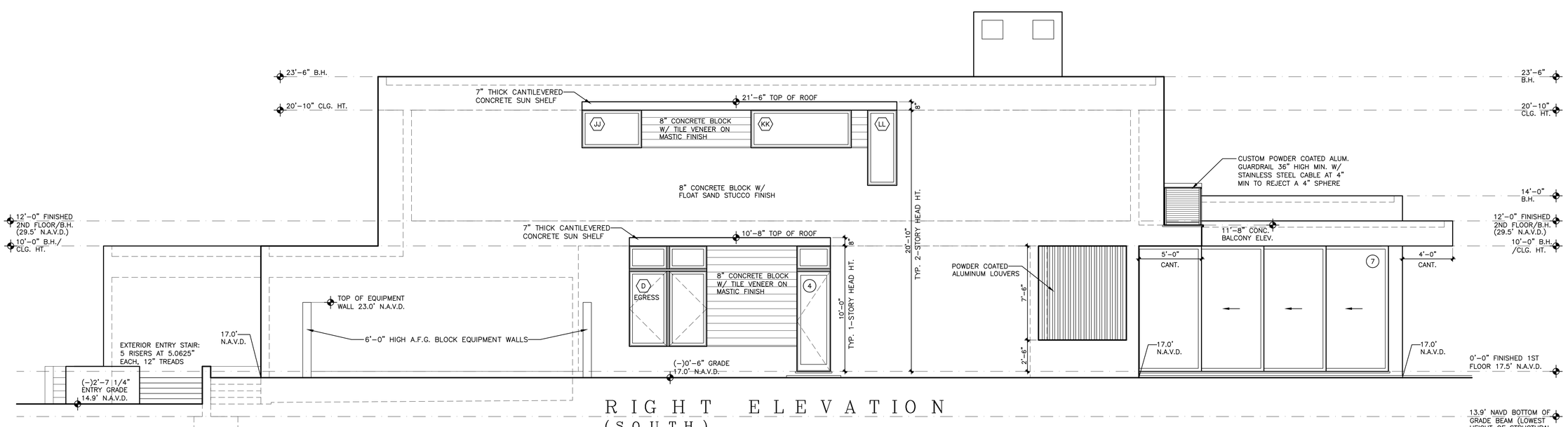
Print Date: 12-14-23



LEFT ELEVATION
(NORTH)

SCALE: 1/4"=1'-0"

SOUTH WALL AREA: 2019 SF
SOUTH WALL OPENINGS: 296 SF
PERCENTAGE OF OPENINGS: 14.6%



RIGHT ELEVATION
(SOUTH)

SCALE: 1/4"=1'-0"

SOUTH WALL AREA: 2019 SF
SOUTH WALL OPENINGS: 379 SF
PERCENTAGE OF OPENINGS: 18.7%

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Scale:
1/4" = 1'-0"

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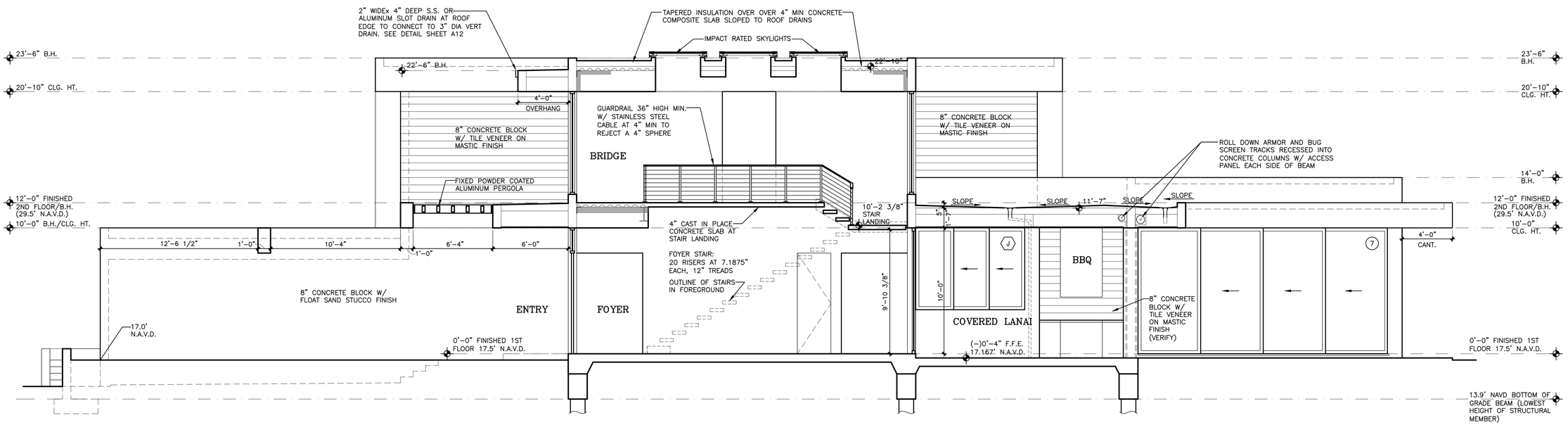
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

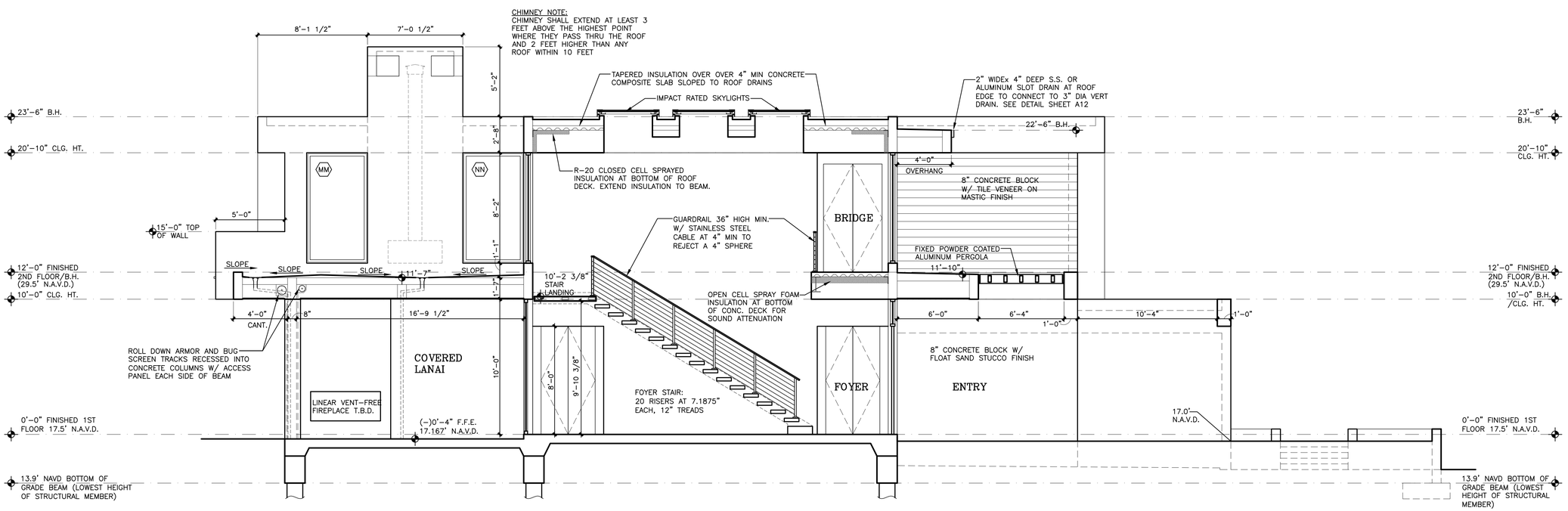
Sheet No.
A5

Print Date: 12-14-23



B U I L D I N G S E C T I O N – B

SCALE: 1/4"=1'-0"



B U I L D I N G S E C T I O N – A

SCALE: 1/4"=1'-0"

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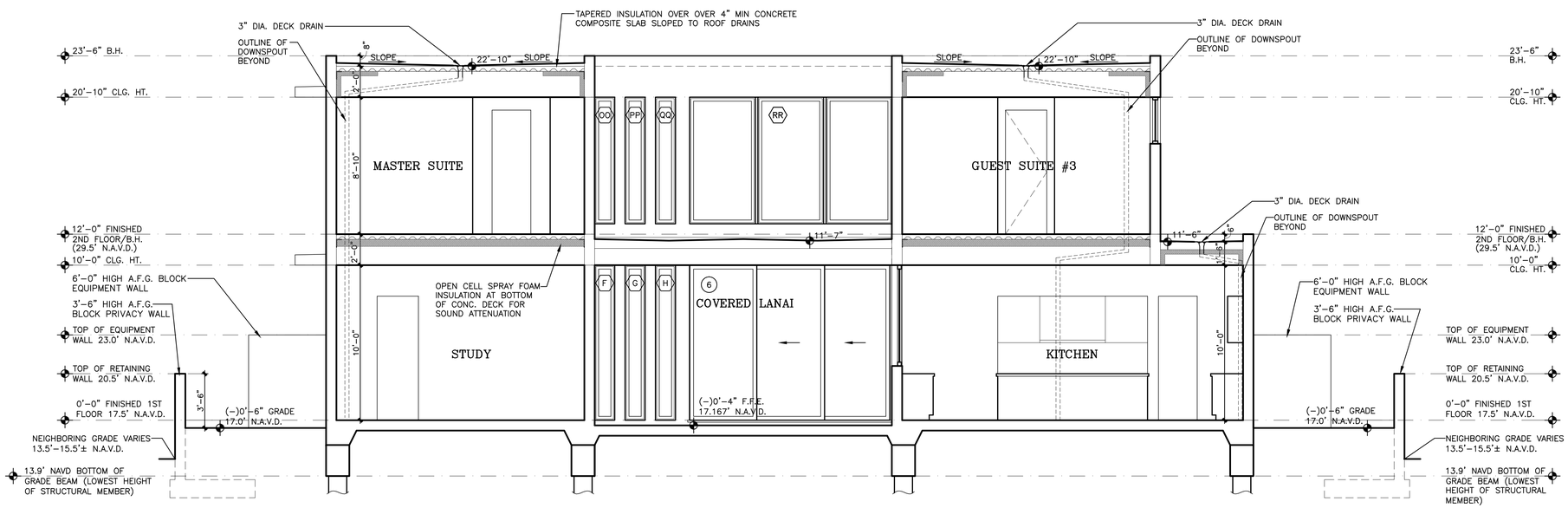
Sheet Title:
BUILDING SECTIONS

Scale:
1/4" = 1'-0"

Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

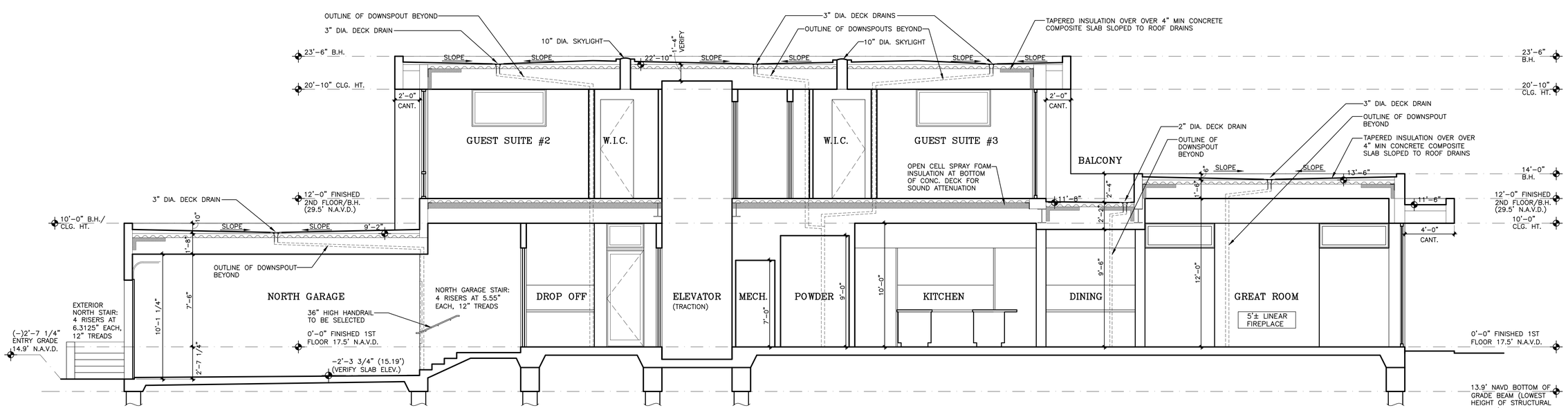
Sheet No.
A6

Print Date: 12-14-23



B U I L D I N G S E C T I O N – D

SCALE: 1/4"=1'-0"



B U I L D I N G S E C T I O N – C

SCALE: 1/4"=1'-0"

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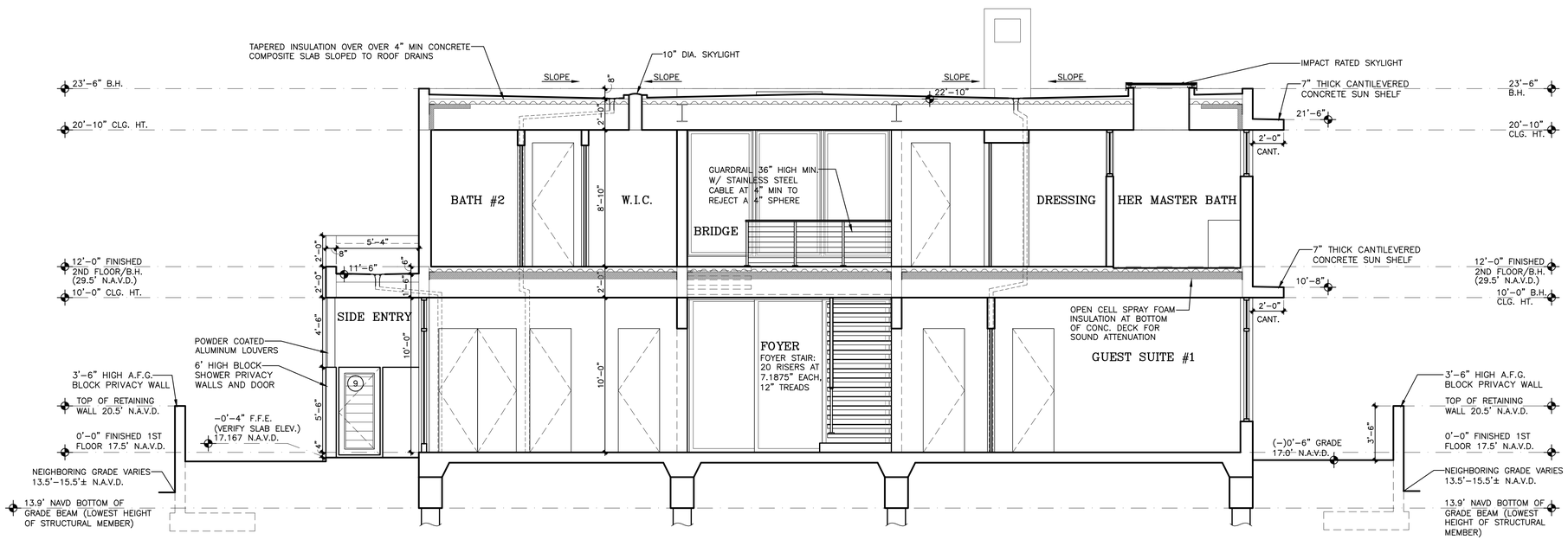
Sheet No.

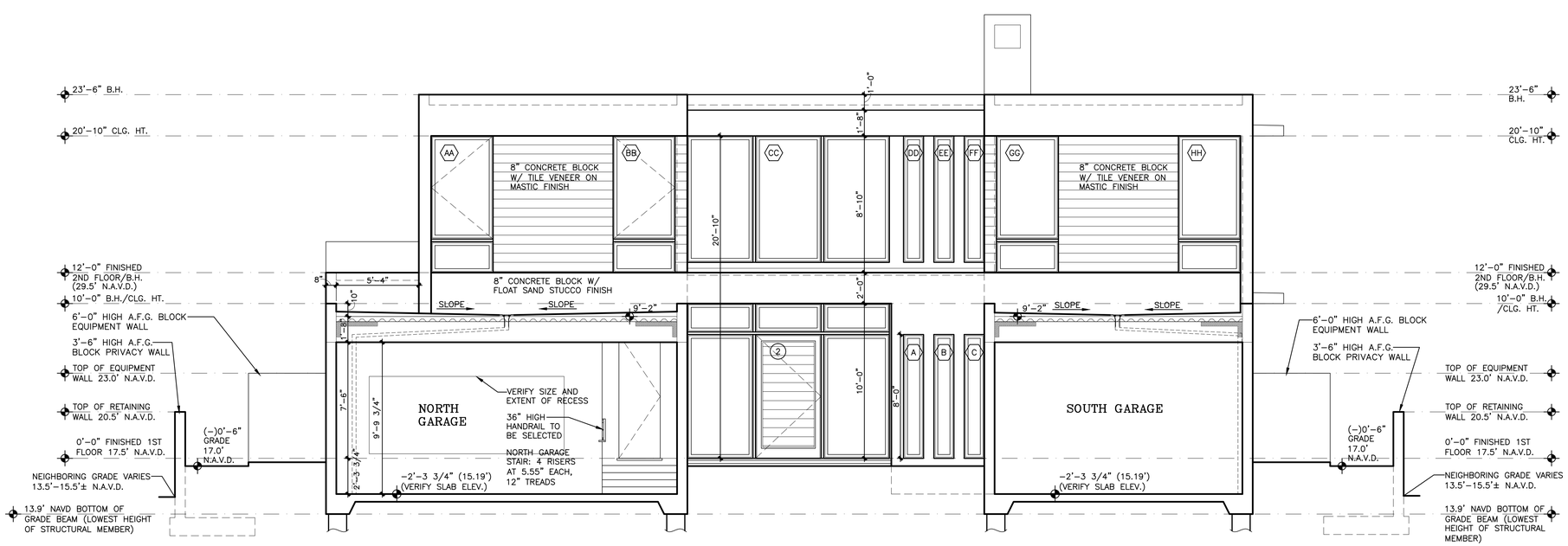
A7

Print Date: 12-14-23



B U I L D I N G S E C T I O N – F

SCALE: 1/4"=1'-0"



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SCALE: 1/4"=1'-0"

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Scale:
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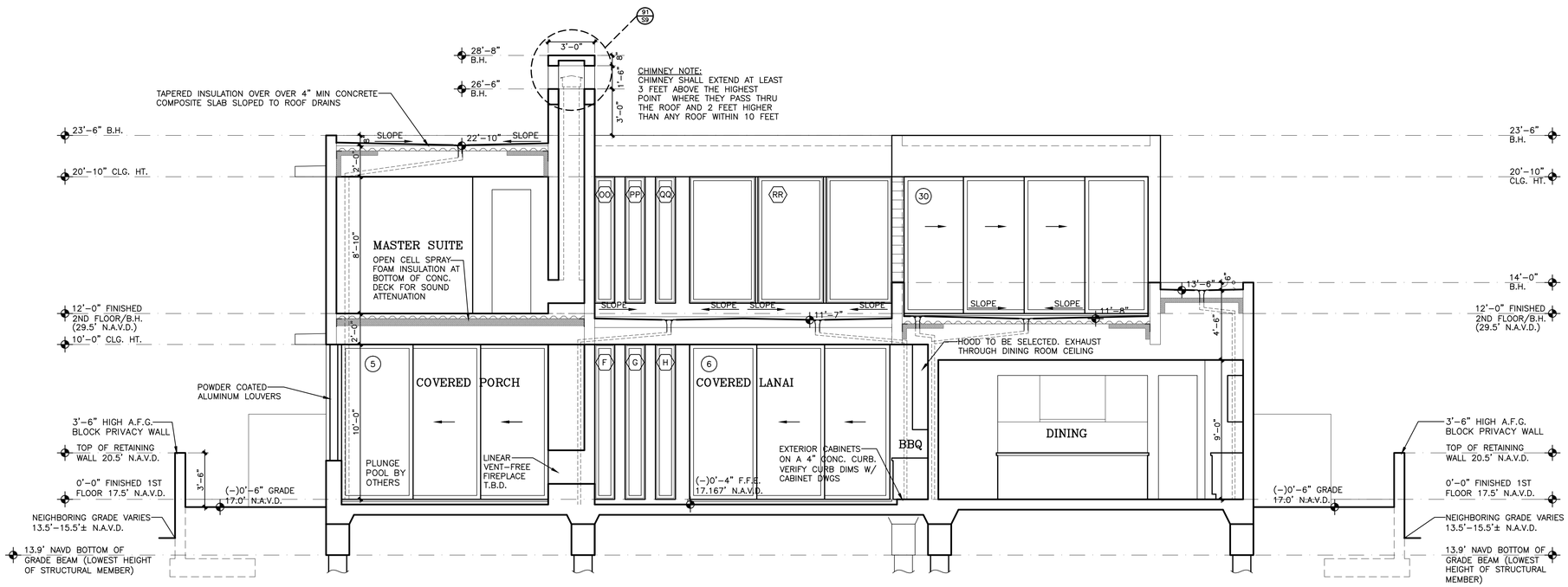
Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.

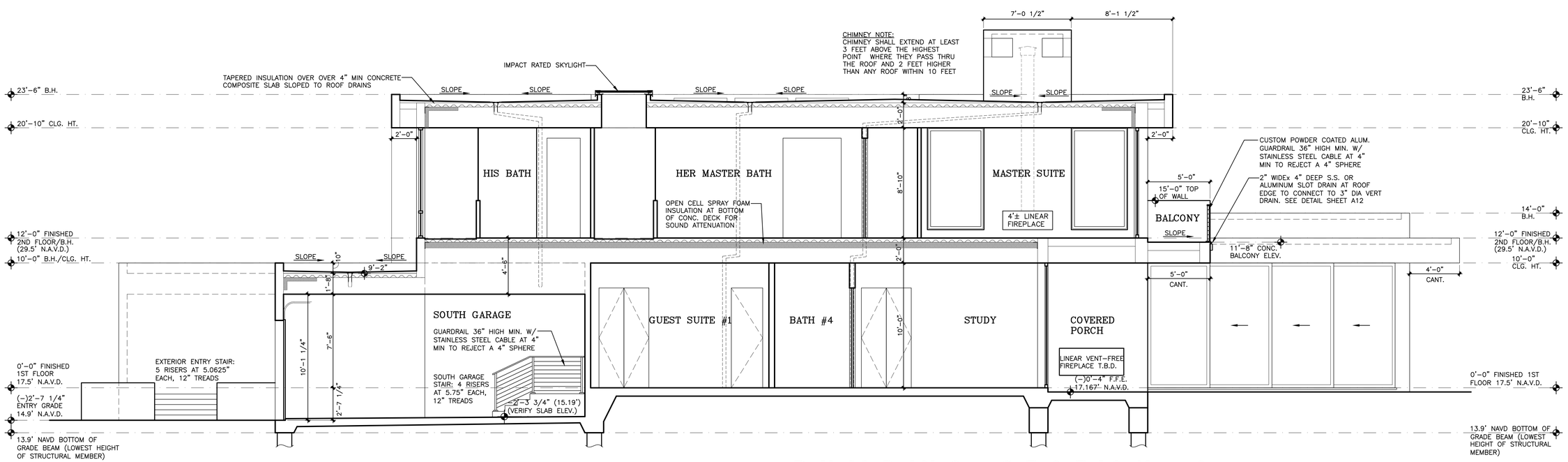
A8

Print Date: 12-14-23



BUILDING SECTION - H

SCALE: 1/4"=1'-0"



BUILDING SECTION - G

SCALE: 1/4"=1'-0"

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12-21-23 JIC REVIEW

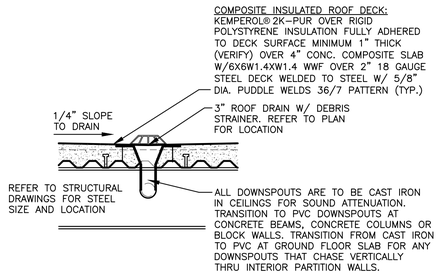
Sheet Title:
BUILDING SECTIONS

Scale: 1/4" = 1'-0"

Comm. : 23-006	Date : 4-10-23
Drawn : SHM	Checked : MEM

Sheet No.
A9

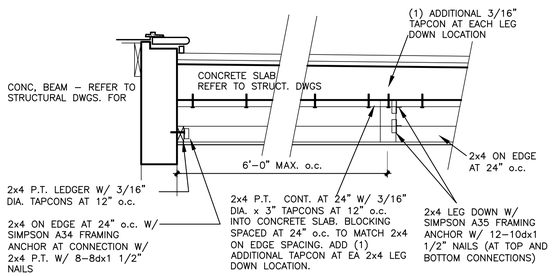
Print Date: 12-14-23



TYPICAL DECK DRAIN DETAIL

(A10)

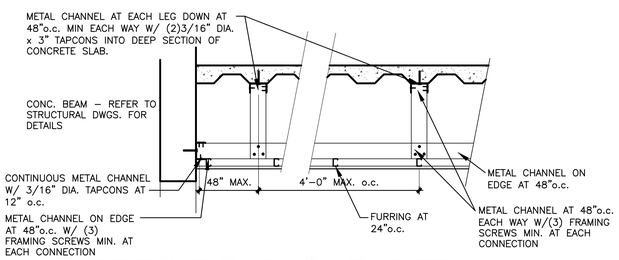
SCALE: 3/4"= 1'-0"



FURRED DOWN CLG. DETAIL

FOR STUCCO AND WOOD CEILINGS BELOW CONCRETE SLABS

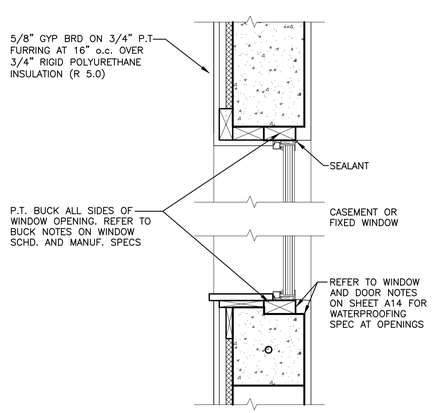
SCALE: N.T.S.



FURRED DOWN CLG. DETAIL

FOR CEILINGS BELOW COMPOSITE CONCRETE SLABS

SCALE: N.T.S.

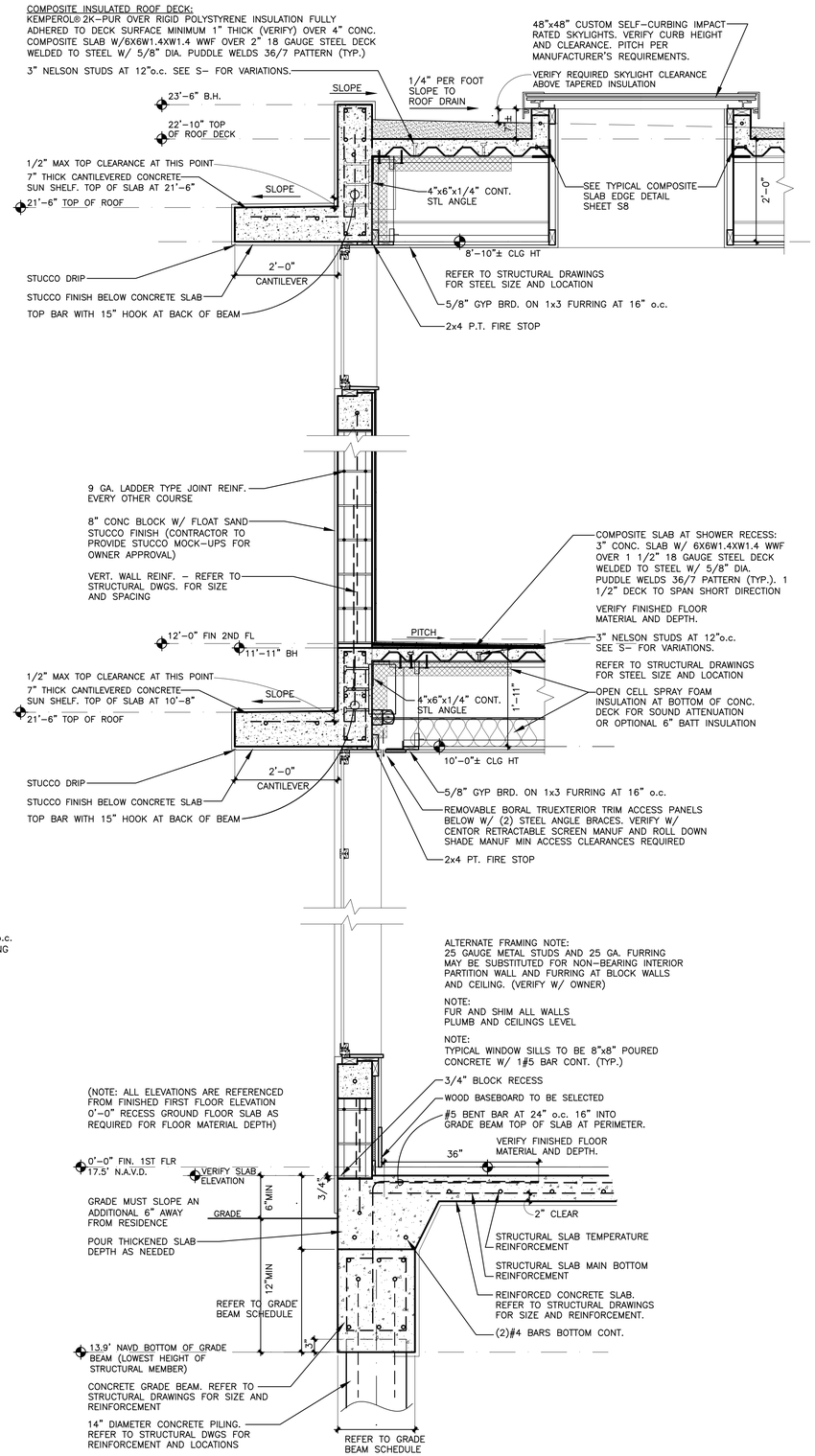


TYPICAL WINDOW DETAIL

(A10)

NOTE: USE OF FOAM IN EXTRUDED STUCCO PROFILES IS PROHIBITED

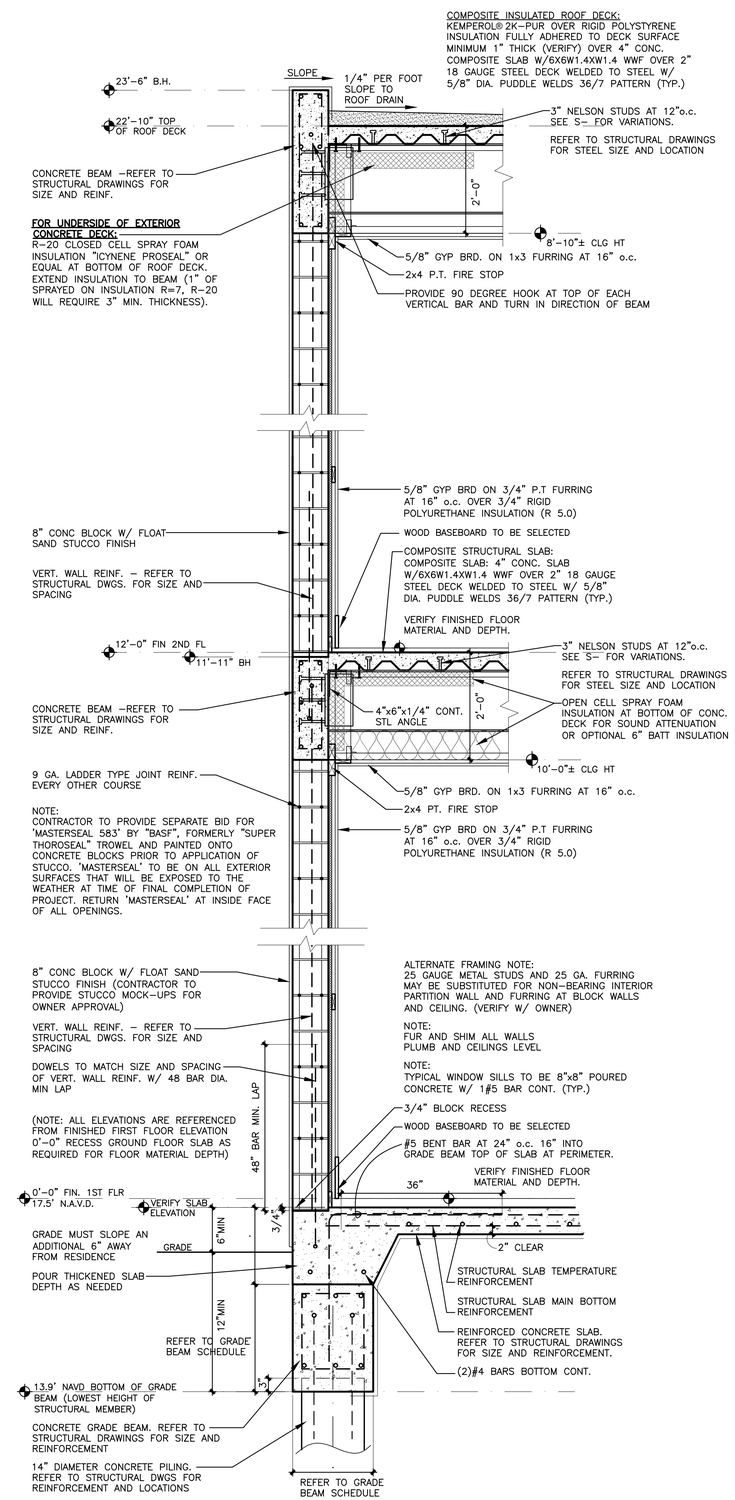
SCALE: 1 1/2"= 1'-0"



2 STORY WINDOW SHELF WALL DETAIL

(2 A10)

SCALE: 3/4"=1'-0"



TYPICAL 2 STORY WALL DETAIL

(1 A10)

SCALE: 3/4"=1'-0"

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MICHAEL BABER
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Revisions :

11-1-23 JIC REVIEW
12-21-23 JIC REVIEW

Sheet Title:

DETAILS

Scale:
3/4" = 1'-0"

Comm. :	Date :
23-006	4-10-23
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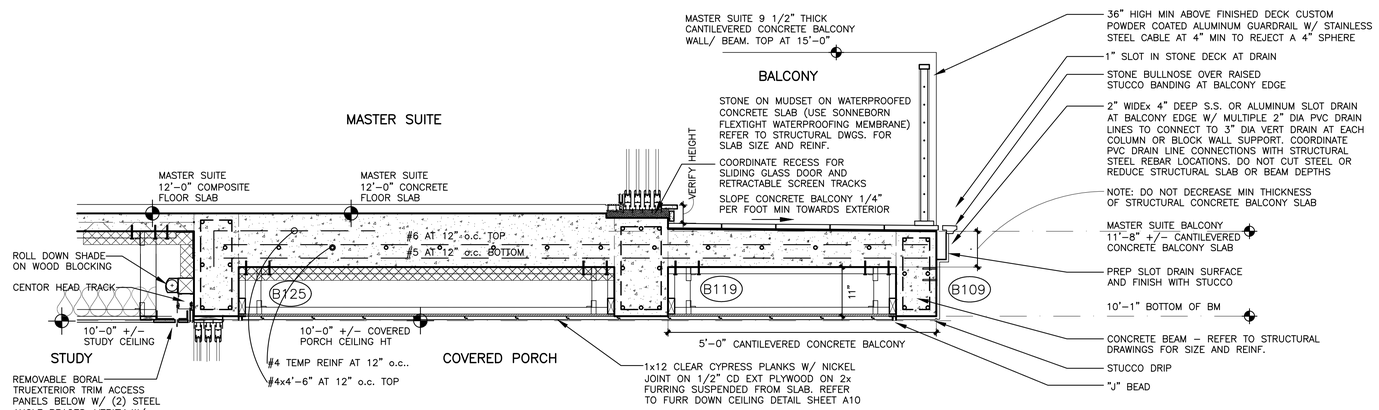
SHM	MEM

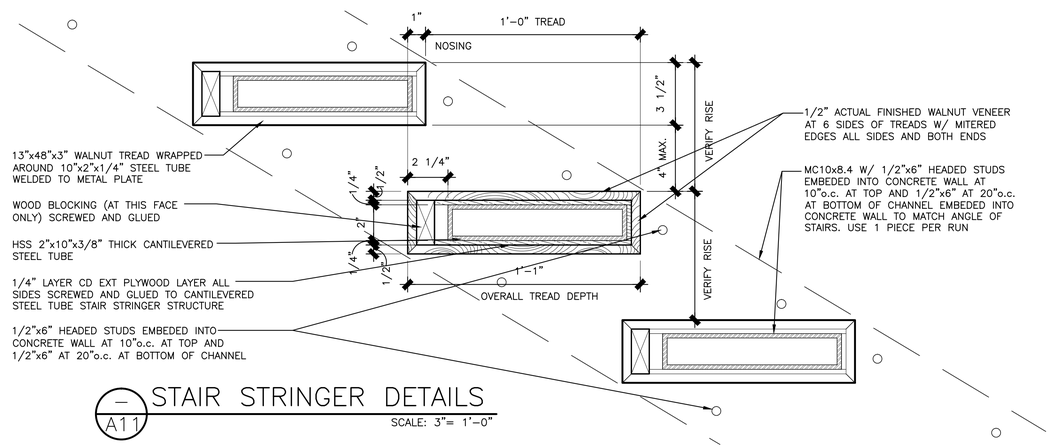
Sheet No.

A10

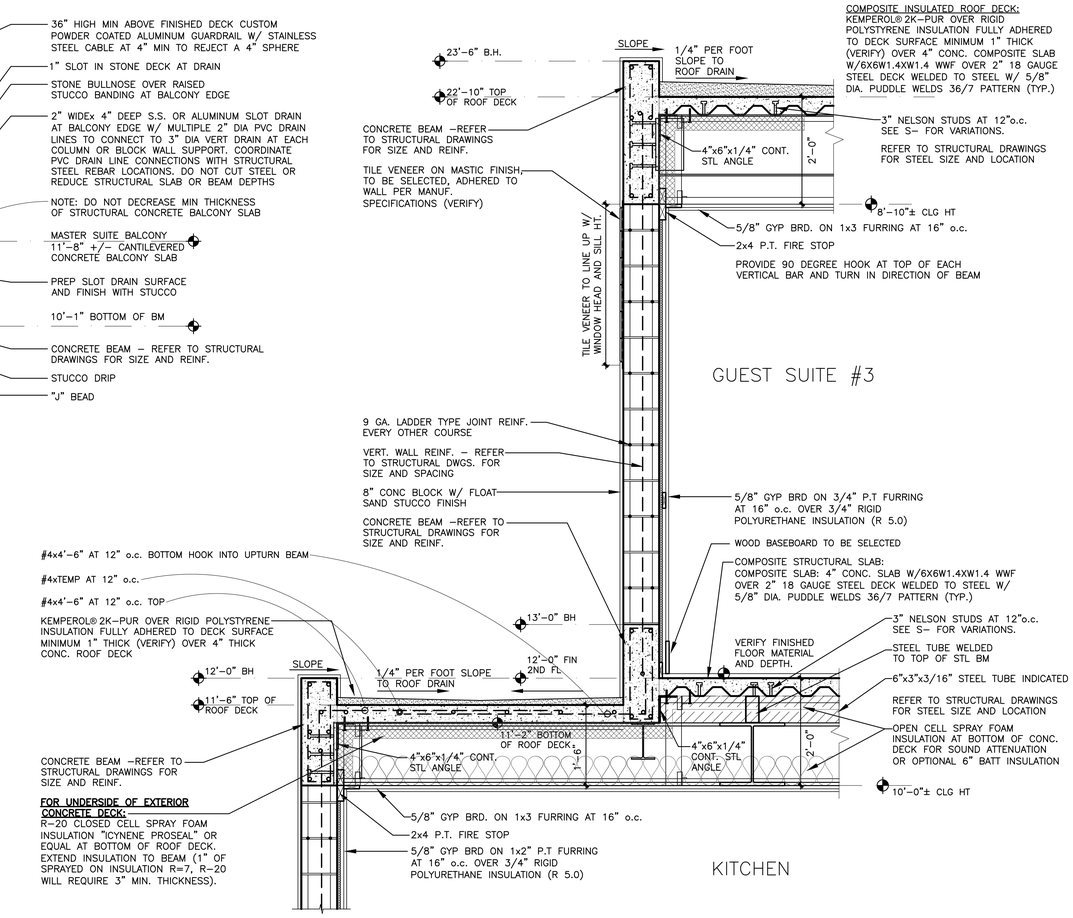
Print Date: 12-14-23



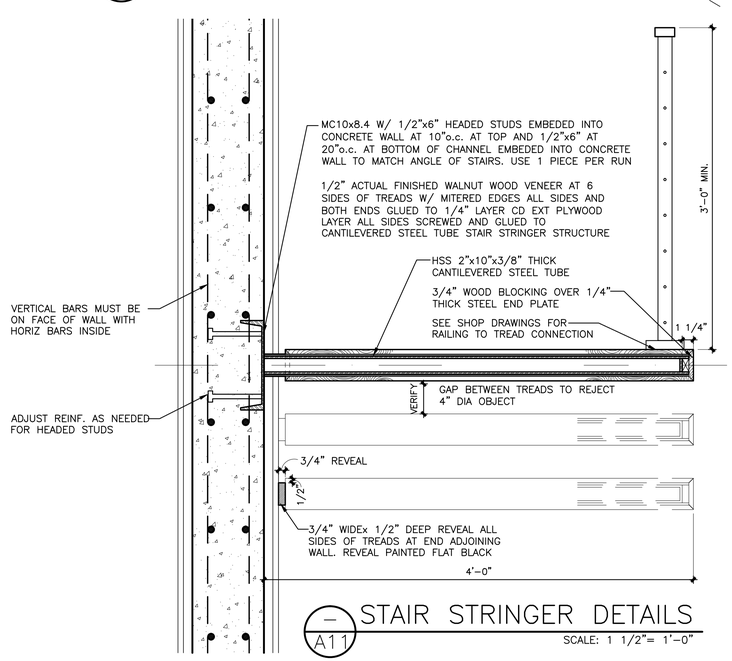
5 A11 MASTER SUITE BALCONY DETAIL
SCALE: 3/4"=1'-0"



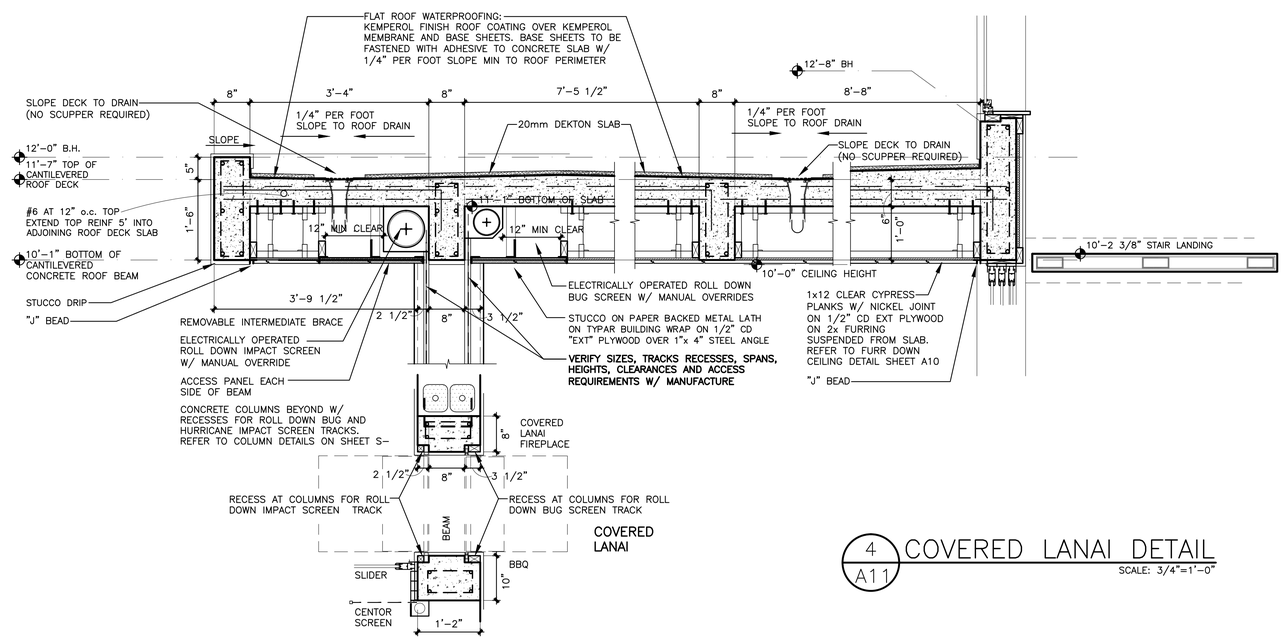
– A11 STAIR STRINGER DETAILS
SCALE: 3"= 1'-0"



3 A11 KITCHEN DETAIL
SCALE: 3/4"=1'-0"



– A11 STAIR STRINGER DETAILS
SCALE: 1 1/2"= 1'-0"



4 A11 COVERED LANAI DETAIL
SCALE: 3/4"=1'-0"

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VILLAGE
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400 N CYPRESS DRIVE, SUITE 21
Tequesta, FL 33469
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Fax: 561-743-1225
www.Village-Architects.com
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JUPITER, FLORIDA

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CERTIFICATE OF AUTHORIZATION # 26967
3733 Atlantic Road
Palm Beach Gardens, FL 33410
PH: (561) 863-3393

MICHAEL BABER
FLORIDA PROFESSIONAL ENGINEER, 52575
(FOR STRUCTURE ONLY)

Revisions :
11-1-23 JIC REVIEW
12-21-23 JIC REVIEW

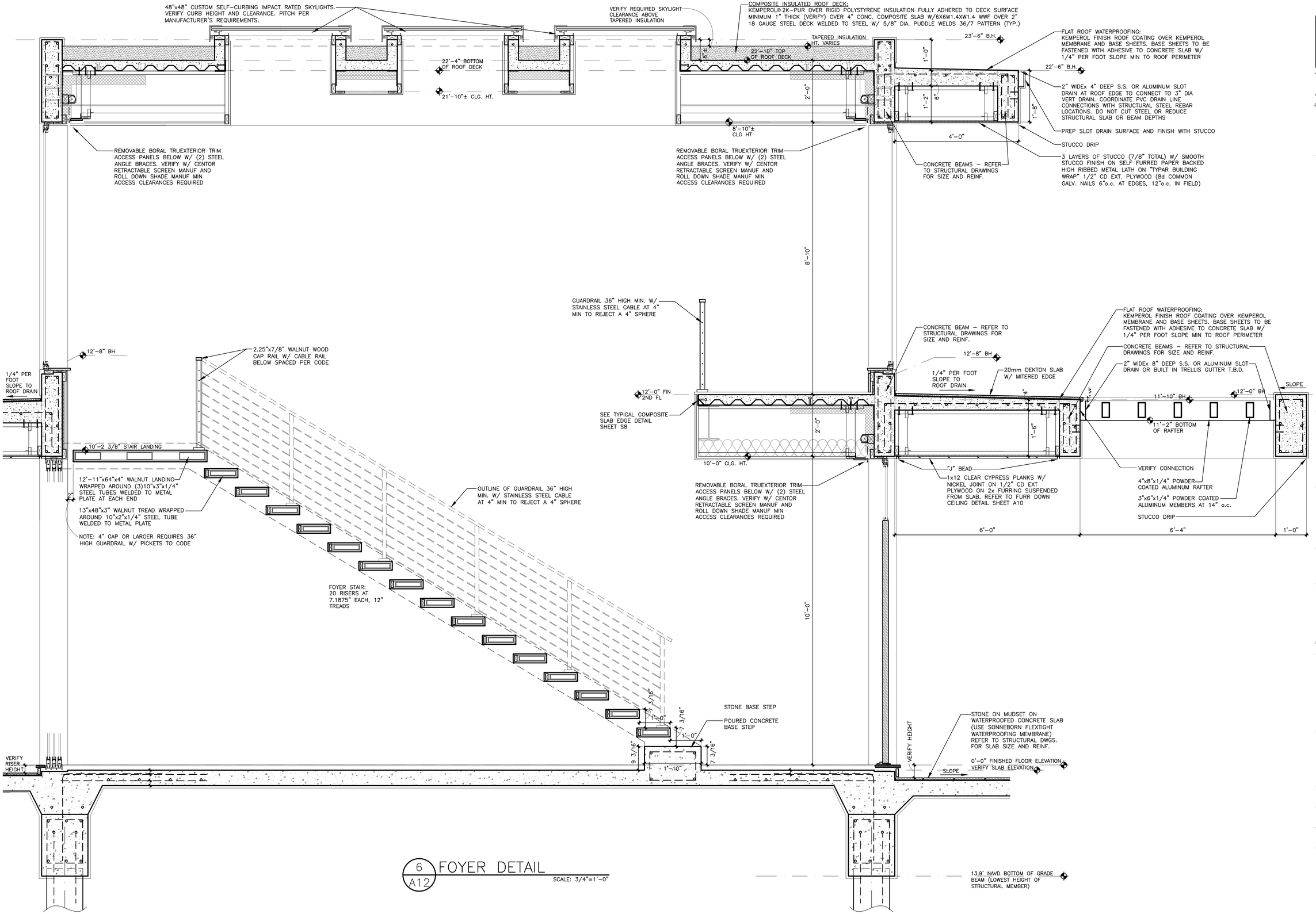
Sheet Title:
DETAILS

Scale: 3/4" = 1'-0"

Comm. : 23-006	Date : 4-10-23
Drawn : SHM	Checked : MEM

Sheet No.
A11

Print Date: 12-14-23



6 / A12 FOYER DETAIL

SCALE: 3/4"=1'-0"

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Revisions :
11-1-23 JIC REVIEW
12-21-23 JIC REVIEW

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Scale:
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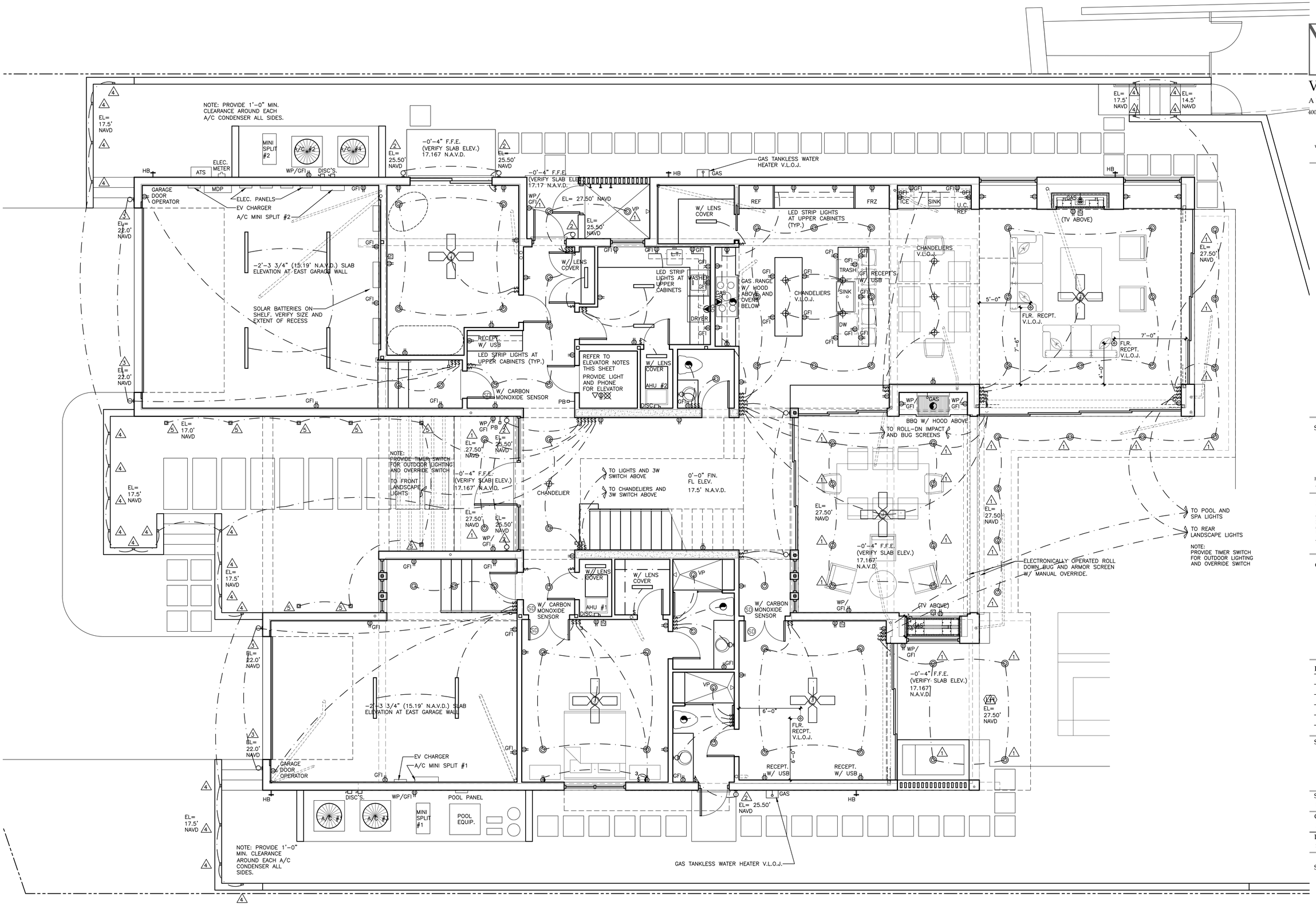
A12

Print Date: 12-14-23



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

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NO PENETRATIONS OR NOTCHES SHALL BE MADE IN ANY STRUCTURAL MEMBER INCLUDING CONCRETE BEAMS AND COLUMNS, MASONRY BLOCK AND STEEL BEAMS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

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12-21-23 JIC REVIEW

Sheet Title:
FIRST FLOOR ELECTRICAL PLAN

Scale:
1/4" = 1'-0"

Comm. :	Date :
23-006	4-10-23
Drawn :	Checked :
SHM	MEM

Sheet No.

E1

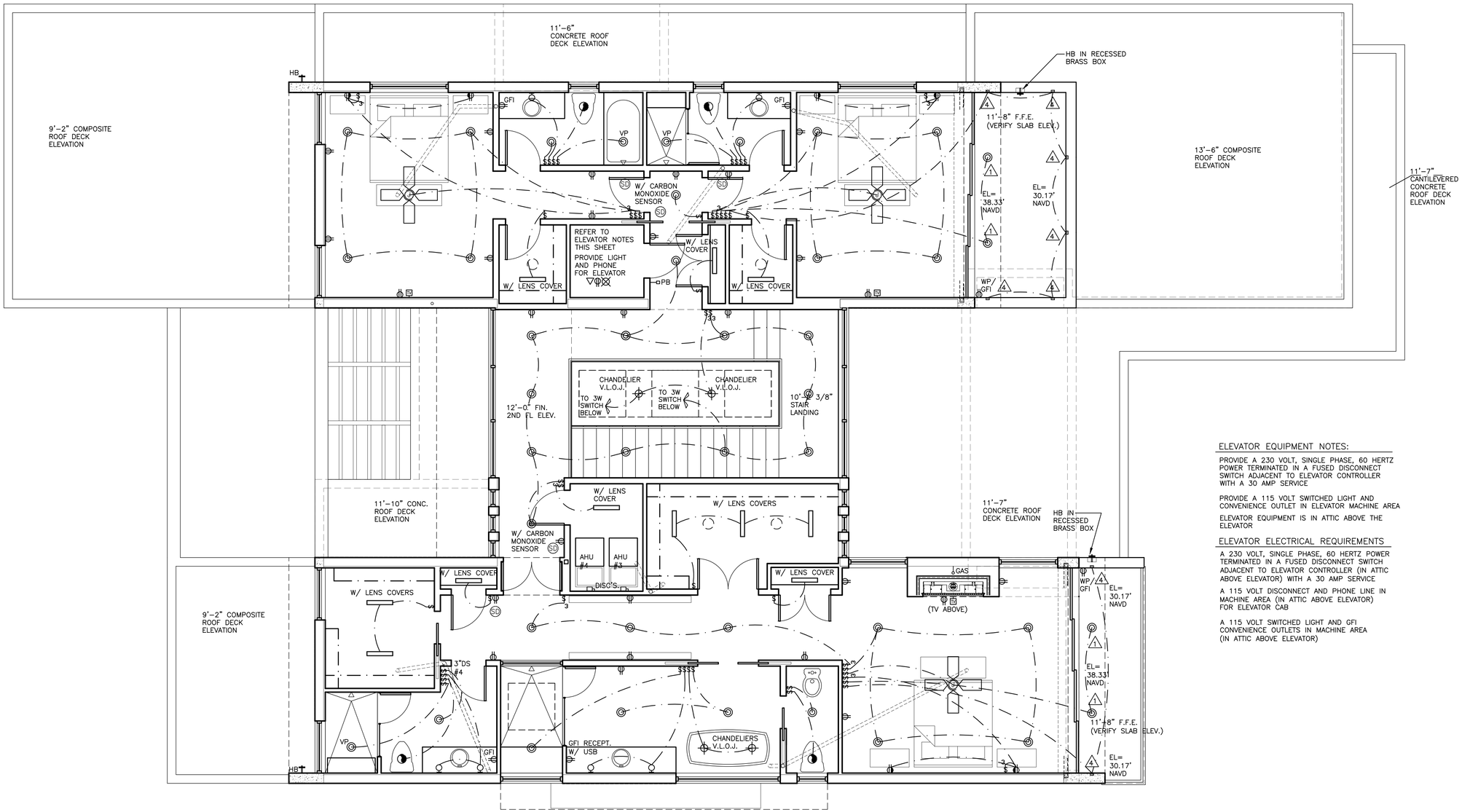
Print Date: 12-14-23

MANUFACTURER:
BEACHSIDE LIGHTING
LITON LIGHTING

NOTES: ALL WINDOWS AND DOORS TO HAVE TURTLE TINTED GLASS (45% MAX LIGHT TRANSMITTANCE).

EXTERIOR LIGHT SCHEDULE

SYMBOL	FIXTURE MFGR	TOTAL	BULB, WATTAGE AND LAMP	TYPE OF MOUNT	MOUNT HT ABOVE FINISH GRADE
1	CH410-4" COMMERCIAL DOWNLIGHT-1000LM "LITON"	30	10W AMBER (1500K)	RECESSED CEILING LT.	10'-6" A.F.G. (27.50' N.A.V.D.), 21'-4" A.F.G. (38.33' N.A.V.D.)
2	L-014 "BEACHSIDE"	6	5W-A-NFL AMBER (1500K)	WALL MOUNT DOWN LT	8'-6" A.F.G. (25.50' N.A.V.D.)
3	L-013-S "BEACHSIDE"	4	7W-A-NFL AMBER (1500K)	WALL MOUNT UP/DOWN LT	7'-1" A.F.G. (22.0' N.A.V.D.)
4	E3-SQL "BEACHSIDE"	30	2W-A-FL AMBER (1500K)	RECESSED STEP LIGHT	(-)2'-6" A.F.G. (14.5' N.A.V.D.), 0'-6" A.F.G. (17.50' N.A.V.D.), 13'-2" A.F.G. (30.17' N.A.V.D.)
5	E3-SQ "BEACHSIDE"	8	2W-A-NFL AMBER (1500K)	IN GRADE UP LIGHT	0'-0" A.F.G. (17.0' N.A.V.D.)



ELEVATOR EQUIPMENT NOTES:

PROVIDE A 230 VOLT, SINGLE PHASE, 60 HERTZ POWER TERMINATED IN A FUSED DISCONNECT SWITCH ADJACENT TO ELEVATOR CONTROLLER WITH A 30 AMP SERVICE

PROVIDE A 115 VOLT SWITCHED LIGHT AND CONVENIENCE OUTLET IN ELEVATOR MACHINE AREA

ELEVATOR EQUIPMENT IS IN ATTIC ABOVE THE ELEVATOR

ELEVATOR ELECTRICAL REQUIREMENTS

A 230 VOLT, SINGLE PHASE, 60 HERTZ POWER TERMINATED IN A FUSED DISCONNECT SWITCH ADJACENT TO ELEVATOR CONTROLLER (IN ATTIC ABOVE ELEVATOR) WITH A 30 AMP SERVICE

A 115 VOLT DISCONNECT AND PHONE LINE IN MACHINE AREA (IN ATTIC ABOVE ELEVATOR) FOR ELEVATOR CAB

A 115 VOLT SWITCHED LIGHT AND GFI CONVENIENCE OUTLETS IN MACHINE AREA (IN ATTIC ABOVE ELEVATOR)

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

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12-21-23 JIC REVIEW
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Sheet Title:
SECOND FLR ELECTRICAL PLAN

Scale:
1/4" = 1'-0"

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23-006	4-10-23
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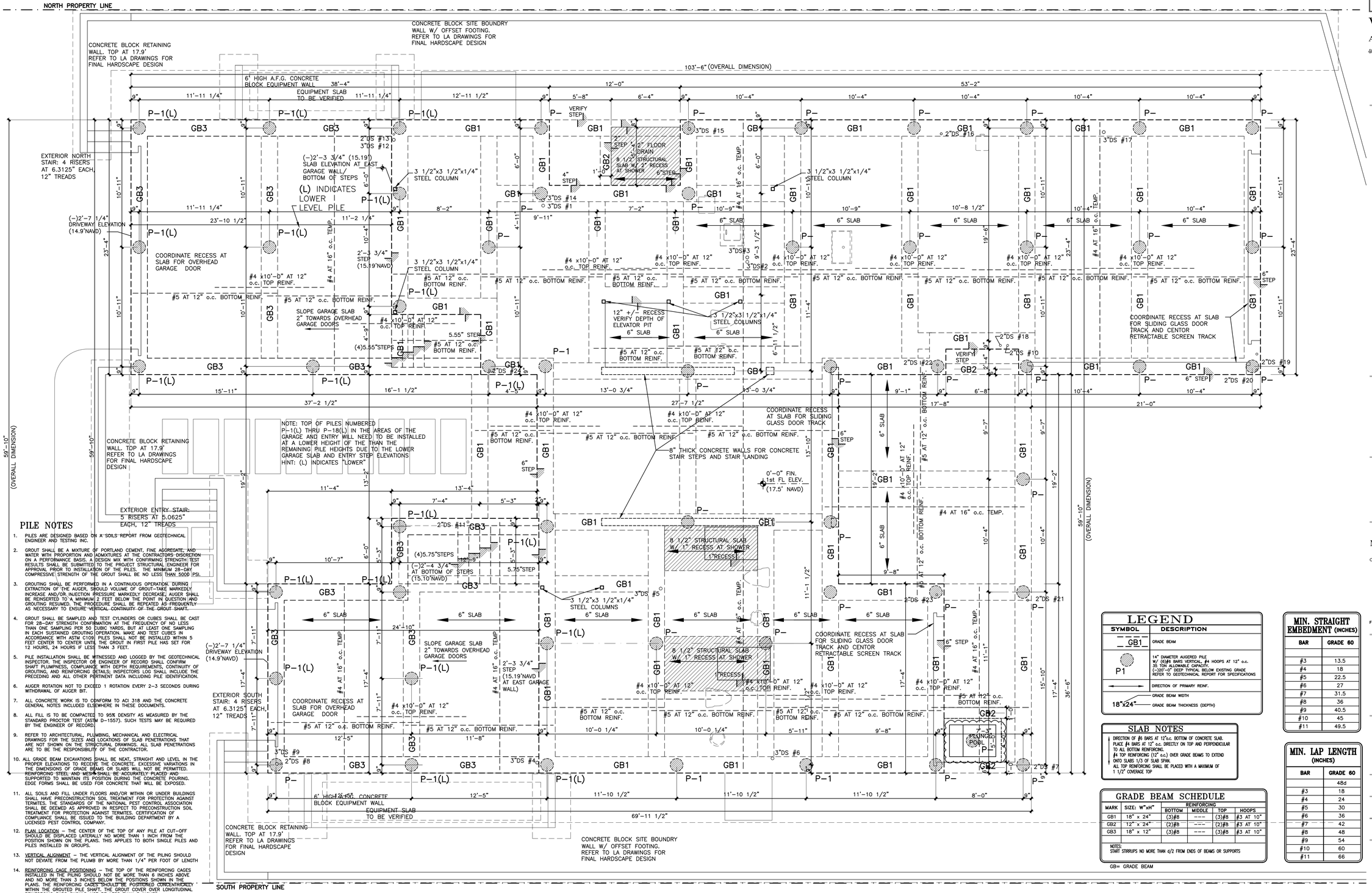
Sheet No.

E2

Print Date: 12-14-23



PILE NOTES

1. PILES ARE DESIGNED BASED ON A SOILS REPORT FROM GEOTECHNICAL ENGINEER AND TESTING INC.
2. GROUT SHALL BE A MIXTURE OF PORTLAND CEMENT, FINE AGGREGATE, AND WATER WITH PROPORTION AND ADMIXTURES AT THE CONTRACTORS DISCRETION ON A PERFORMANCE BASIS. A DESIGN MIX WITH CONFIRMING STRENGTH TEST RESULTS SHALL BE SUBMITTED TO THE PROJECT STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO INSTALLATION OF THE PILES. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE GROUT SHALL BE NO LESS THAN 5000 PSI.
3. GROUTING SHALL BE PERFORMED IN A CONTINUOUS OPERATION. DURING EXTRACTION OF THE AUGER, SHOULD VOLUME OF GROUT-TAKE MARKEDLY INCREASE AND/OR INJECTION PRESSURE MARKEDLY DECREASE, AUGER SHALL BE REINSERTED TO A MINIMUM 2 FEET BELOW THE POINT IN QUESTION AND GROUTING RESUMED. THE PROCEDURE SHALL BE REPEATED AS FREQUENTLY AS NECESSARY TO ENSURE VERTICAL CONTINUITY OF THE GROUT SHAFT.
4. GROUT SHALL BE SAMPLED AND TEST CYLINDERS OR CUBES SHALL BE CAST FOR 28-DAY STRENGTH CONFIRMATION AT THE FREQUENCY OF NO LESS THAN ONE SAMPLING PER 50 CUBIC YARDS, BUT AT LEAST ONE SAMPLING IN EACH SUSTAINED GROUTING OPERATION. MAKE AND TEST CUBES IN ACCORDANCE WITH ASTM C109. PILES SHALL NOT BE INSTALLED WITHIN 5 FEET CENTER TO CENTER UNTIL THE GROUT IN FIRST PILE HAS SET FOR 12 HOURS, 24 HOURS IF LESS THAN 3 FEET.
5. PILE INSTALLATION SHALL BE WITNESSED AND LOGGED BY THE GEOTECHNICAL INSPECTOR. THE INSPECTOR OR ENGINEER OF RECORD SHALL CONFIRM SHAFT PLUMPNESS, COMPLIANCE WITH DEPTH REQUIREMENTS, CONTINUITY OF GROUTING, AND REINFORCING DETAILS; INSPECTORS LOG SHALL INCLUDE THE PRECEDING AND ALL OTHER PERTINENT DATA INCLUDING PILE IDENTIFICATION.
6. AUGER ROTATION NOT TO EXCEED 1 ROTATION EVERY 2-3 SECONDS DURING WITHDRAWAL OF AUGER BIT.
7. ALL CONCRETE WORK IS TO CONFORM TO ACI 318 AND THE CONCRETE GENERAL NOTES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
8. ALL FILL IS TO BE COMPACTED TO 95% DENSITY AS MEASURED BY THE STANDARD PROCTOR TEST (ASTM D-1557). SUCH TESTS MAY BE REQUIRED BY THE ENGINEER OF RECORD.
9. REFER TO ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SIZES AND LOCATIONS OF SLAB PENETRATIONS THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL SLAB PENETRATIONS ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL GRADE BEAM EXCAVATIONS SHALL BE NEAT, STRAIGHT AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF GRADE BEAMS OR SLABS WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATELY PLACED AND SUPPORTED TO MAINTAIN ITS POSITION DURING THE CONCRETE POURING. EDGE FORMS SHALL BE USED FOR CONCRETE THAT WILL BE EXPOSED.
11. ALL SOILS AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.
12. PLAN LOCATION – THE CENTER OF THE TOP OF ANY PILE AT CUT-OFF SHOULD BE DISPLACED LATERALLY NO MORE THAN 1 INCH FROM THE POSITION SHOWN ON THE PLANS. THIS APPLIES TO BOTH SINGLE PILES AND PILES INSTALLED IN GROUPS.
13. VERTICAL ALIGNMENT – THE VERTICAL ALIGNMENT OF THE PILING SHOULD NOT DEVIATE FROM THE PLUMB BY MORE THAN 1/4" PER FOOT OF LENGTH
14. REINFORCING CAGE POSITIONING – THE TOP OF THE REINFORCING CAGES INSTALLED IN THE PILING SHOULD NOT BE MORE THAN 6 INCHES ABOVE AND NO MORE THAN 3 INCHES BELOW THE POSITIONS SHOWN IN THE PLANS. THE REINFORCING CAGES SHOULD BE POSITIONED CONCENTRICALLY WITHIN THE GROUTED PILE SHAFT. THE GROUT COVER OVER LONGITUDINAL REINFORCING BARS SHOULD NOT BE LESS THAN 3 INCHES.
15. ADJACENT PILES – A MINIMUM TIME PERIOD OF 12 HOURS SHOULD BE SPECIFIED FOR THE INSTALLATION OF PILES LOCATED WITHIN 5 FEET, CENTER-TO-CENTER, OF EACH OTHER.
16. GROUT FACTOR – THE MINIMUM ACCEPTABLE GROUT FACTOR (i.e. ACTUAL GROUT VOLUME DIVIDED BY THEORETICAL GROUT VOLUME) SHOULD BE 1.15

NOT FOR CONSTRUCTION

LEGEND

SYMBOL	DESCRIPTION
GB1	GRADE BEAM
P1	14" DIAMETER AUGERED PILE W/ (6)#8 BARS VERTICAL, #4 HOOPS AT 12" o.c. 35 TON ALLOWABLE CAPACITY. (-)20'-0" DEEP TYPICAL BELOW EXISTING GRADE REFER TO GEOTECHNICAL REPORT FOR SPECIFICATIONS
	DIRECTION OF PRIMARY REINF.
18"x24"	GRADE BEAM WIDTH / GRADE BEAM THICKNESS (DEPTH)

SLAB NOTES

DIRECTION OF #6 BARS AT 12"o.c. BOTTOM OF CONCRETE SLAB. PLACE #4 BARS AT 12" o.c. DIRECTLY ON TOP AND PERPENDICULAR TO ALL BOTTOM REINFORCING.
#4 TOP REINFORCING (12" o.c.) OVER GRADE BEAMS TO EXTEND ONTO SLABS 1/3 OF SLAB SPAN.
ALL TOP REINFORCING SHALL BE PLACED WITH A MAXIMUM OF 1 1/2" COVERAGE TOP

GRADE BEAM SCHEDULE

MARK	SIZE: W"xH"	REINFORCING BOTTOM	MIDDLE	TOP	HOOPS
GB1	18" x 24"	(3)#8	---	(3)#8	#3 AT 10"
GB2	12" x 24"	(2)#8	---	(2)#8	#3 AT 10"
GB3	18" x 12"	(3)#8	---	(3)#8	#3 AT 10"

NOTES:
START STIRRUPS NO MORE THAN d/2 FROM ENDS OF BEAMS OR SUPPORTS

GB= GRADE BEAM

MIN. STRAIGHT EMBEDMENT (INCHES)

BAR	GRADE 60
#3	13.5
#4	18
#5	22.5
#6	27
#7	31.5
#8	36
#9	40.5
#10	45
#11	49.5

MIN. LAP LENGTH (INCHES)

BAR	GRADE 60
	48d
#3	18
#4	24
#5	30
#6	36
#7	42
#8	48
#9	54
#10	60
#11	66

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MICHAEL BABER
FLORIDA PROFESSIONAL ENGINEER, 52575

Revisions :
10-17-23
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Sheet Title:
GRADE BEAM AND PILING PLAN

Scale:
1/4" = 1'-0"

Comm. : 23-006	Date : 4-10-23
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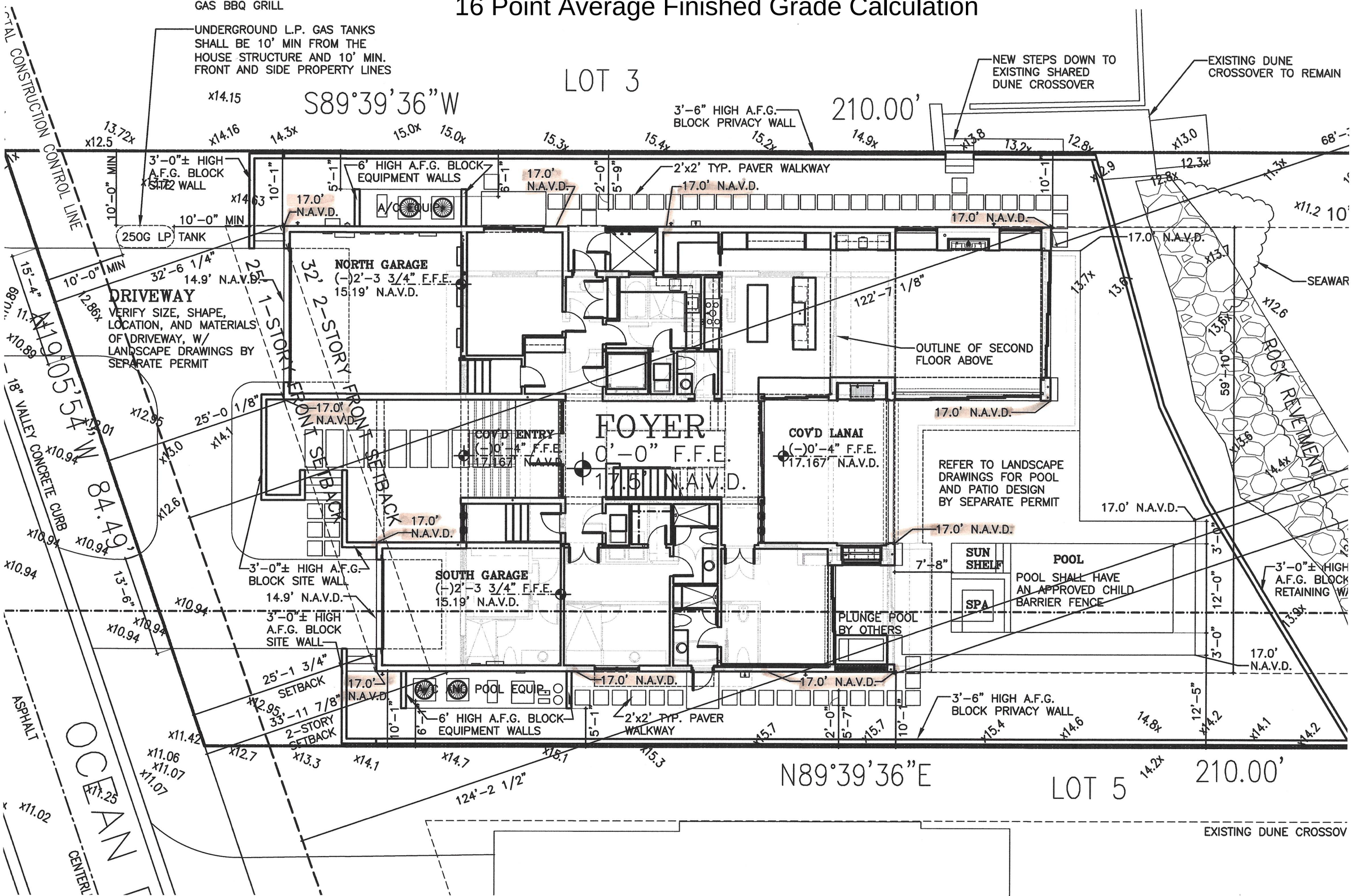
Sheet No.
S1

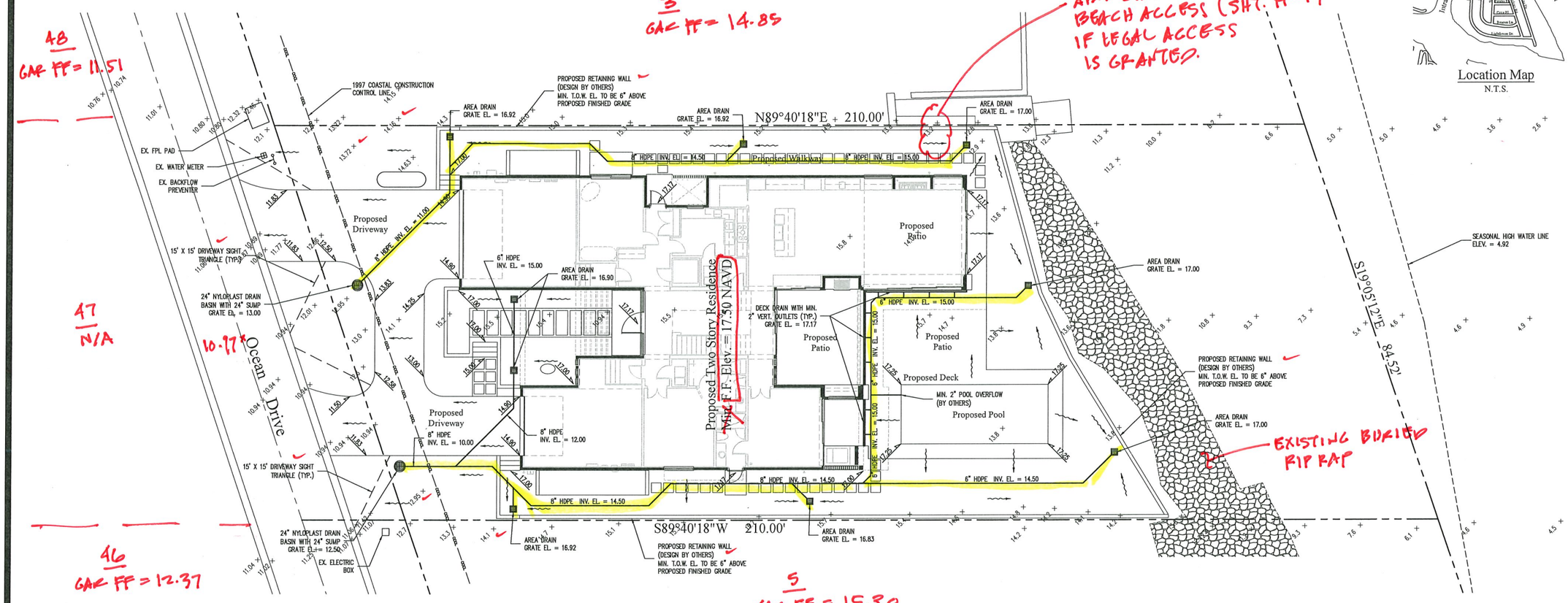
Print Date: -

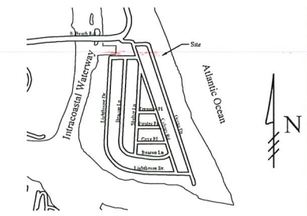
16 Point Average Finished Grade Calculation



NEED: 1. AVERAGE FINISH GRADE CALCULATED W/ 16 PTS. (SEE APPENDIX A OF ZONING CODE)

2. PROPOSED FF ELEV. OF 17.50 IS TOO HIGH BASED ON ADJACENT PROPERTIES. FF EL. MAY NEED TO BE 16.50 TO 16.75, BUT NEED 16 POINT CALCULATION PERFORMED.





Location Map
N.T.S.

N

Legend

- EXISTING ELEVATION PER LIDBERG LAND SURVEYING (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE

N

0 5 10 20 40

Scale: 1" = 10'

CHECK...
18" ABOVE CROWN OF ROAD
= 10.97 + 1.5' = 12.47

EXIST. STRUCTURE ...
GAR FF = 15.85

REVIEW COMMENTS BY: (SHT. C-1, C-2 AND H-1)
11.15.2023
THOMAS C. JENSEN, P.E.
COUNTY ENGINEER

Notes:

1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
4) Contractor is responsible for installing and maintaining erosion control measures during construction.
5) Video inspection of storm drainage system required prior to installation of sod.

48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.
Contractor is responsible for obtaining locations of existing utilities prior to commencement of construction activities.

Gruber Consulting Engineers, Inc.
2474 HIBISCUS AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2041
office@gruberengineers.com

Project Information	
Project No.	2023-0077
Issue Date	10/30/2023
Scale	1" = 10'
Drawn By	CM
Checked By	CG

Site Grading & Drainage Plan For:
Gooch Residence
4 Ocean Drive
Jupiter Inlet Colony, Florida

Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1

CHAD M. GRUBER LICENSE No. 57466 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Chad M Gruber
Date: 2023.10.30 10:20:36 -04'00'

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by Parker-Yannette Design Group Received 10/4/23

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TCJ

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

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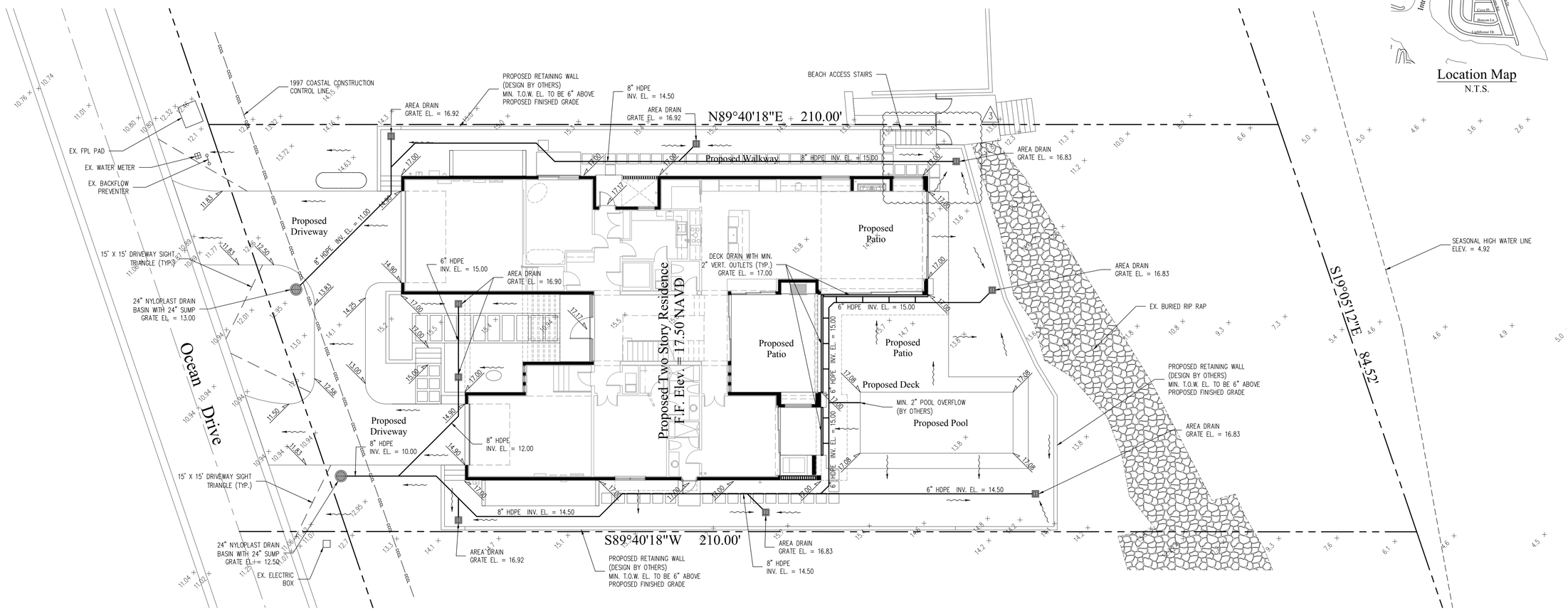
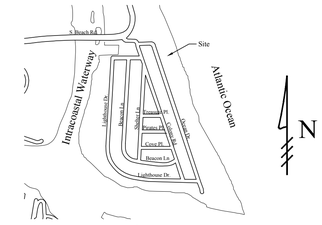
2475 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2041
office@gruberengineers.com





Location Map
N.T.S.

Finished Average Grade Elev. = (17.00 + 17.00 + 17.00 + 17.00)/4 = 17.00 NAVD

Legend

- EXISTING ELEVATION PER LIDBERG LAND SURVEYING (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE

N

0 5 10 20 40

Scale: 1" = 10'

Notes:

1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
4) Contractor is responsible for installing and maintaining erosion control measures during construction.
5) Video inspection of storm drainage system required prior to installation of sod.

Revisions	
1	11/28/2023
2	12/04/2023
3	12/14/2023
4	
5	
6	
7	
8	
9	
10	

1	11/28/23	REVISE PLAN PER JIC COMMENTS
2	12/04/23	REVISE PLAN PER JIC COMMENTS
3	12/14/23	REVISE PLAN PER JIC COMMENTS

Project Information	
Project No.	2023-0077
Issue Date	11/07/2023
Scale	1" = 10'
Drawn By	KM
Checked By	CG

Site Grading & Drainage Plan For:

Gooch Residence

4 Ocean Drive

Jupiter Inlet Colony, Florida

Chad M. Gruber

FL P.E. No. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by Parker-Yannette Design Group Received 12/14/23

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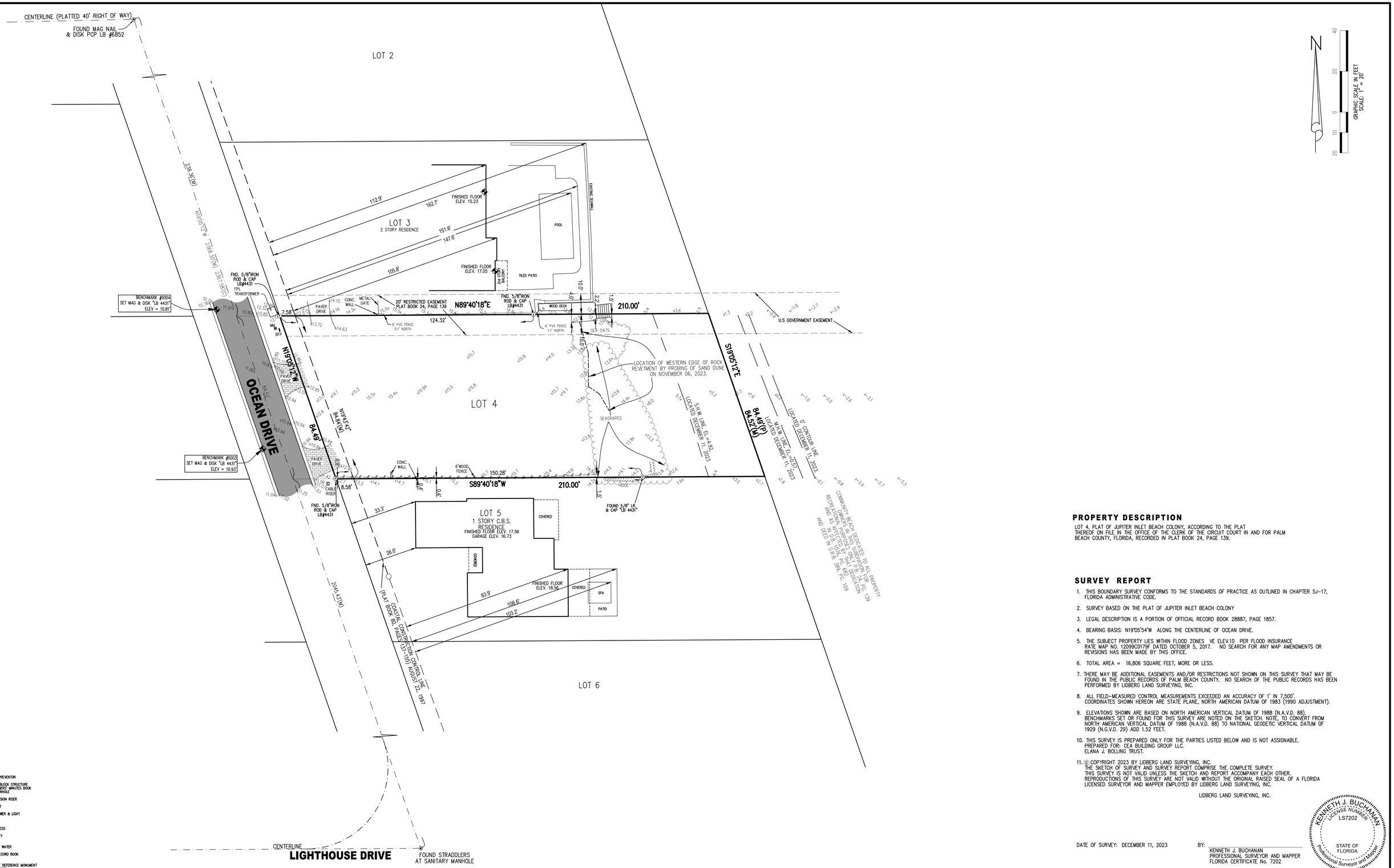
Sheet No.
C-1



PROPERTY DESCRIPTION

LOT 4, PLAT OF JUPITER INLET BEACH COLONY, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 24, PAGE 139.

SURVEY REPORT

1. THIS BOUNDARY SURVEY CONFORMS TO THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
2. SURVEY BASED ON THE PLAT OF JUPITER INLET BEACH COLONY
3. LEGAL DESCRIPTION IS A PORTION OF OFFICIAL RECORD BOOK 28887, PAGE 1857.
4. BEARING BASIS: N19°05'54"W ALONG THE CENTERLINE OF OCEAN DRIVE.
5. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONES VE ELEV.10 PER FLOOD INSURANCE RATE MAP NO. 12099C0179F DATED OCTOBER 5, 2017. NO SEARCH FOR ANY MAP AMENDMENTS OR REVISIONS HAS BEEN MADE BY THIS OFFICE.
6. TOTAL AREA = 16,806 SQUARE FEET, MORE OR LESS.
7. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY LIDBERG LAND SURVEYING, INC.
8. ALL FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED AN ACCURACY OF 1' IN 7,500'. COORDINATES SHOWN HEREON ARE STATE PLANE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).
9. ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88). BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH. NOTE, TO CONVERT FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 29) ADD 1.52 FEET.
10. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. PREPARED FOR: CEA BUILDING GROUP LLC. ELANA J. BOLLING TRUST.
11. © COPYRIGHT 2023 BY LIDBERG LAND SURVEYING, INC. THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY. THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY LIDBERG LAND SURVEYING, INC.

LIDBERG LAND SURVEYING, INC.

DATE OF SURVEY: DECEMBER 11, 2023

BY: _____
KENNETH J. BUCHANAN
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 7202

KENNETH J. BUCHANAN LICENSE NUMBER LS7202 STATE OF FLORIDA Professional Surveyor and Mapper

ABBREVIATIONS:

BFP = BACK FLOW PREVENTOR
(C) = CALCULATED
C.B.S. = CONCRETE BLOCK STRUCTURE
C.M.B. = COMMISSIONERS' MINUTES BOOK
CMH = CONFLICT MANHOLE
CONC. = CONCRETE
CTV = CABLE TELEVISION RISER
D.B. = DEED BOOK
F.H. = FIRE HYDRANT
FND. = FOUND
F.P.L. = FLORIDA POWER & LIGHT
I.P. = IRON PIPE
INV. = INVERT
I.R. = IRON ROD
LB = LICENSE BUSINESS
LP = LIGHT POLE
LS = LICENSE SURVEY
(M) = MEASURED
MH = MANHOLE
M.H.W. = MEAN HIGH WATER
MON. = MONUMENT
O.R.B. = OFFICIAL RECORD BOOK
(P) = PLAT
P.B. = PLAT BOOK
P.R.M. = PERMANENT REFERENCE MONUMENT
R.O.W. = RIGHT-OF-WAY
RCP = REINFORCED CONCRETE PIPE
R.P.B. = ROAD PLAT BOOK
(S) = SURVEY
S.H.W. = SEASONAL HIGH WATER
SLP = STOP LIGHT POLE
SMH = SANITARY MANHOLE
SBTMH = SOUTHERN BELL TELEPHONE MANHOLE
SWM = STORM MANHOLE
TM = TRAFFIC MARK
TLP = TRAFFIC LIGHT POLE
TV = TELEVISION
U.E. = UTILITY EASEMENT
WM = WATER METER
WP = WOOD POLE
WUP = WOOD UTILITY POLE
WV = WATER VALVE

DATE:	REVISIONS:	BY:
01/05/2023	ADD SPILT LEVEL FINISHED FLOOR ELEV. TO LOT 5	A.B.
12/11/2023	23-044-104-W.W.-UPDATE SURVEY AND TOPO-FB. 838, PG. 23 & PRINT	A.B.
11/06/2023	23-044-102-K.F. LOCATE WESTERN EDGE OF REVETMENT -FILE	M.R.

LIDBERG LAND SURVEYING, INC.
LB4431
675 West Indiantown Road, Suite 200, Jupiter, Florida 33458 TEL. 561-746-8454

BOUNDARY SURVEY - LOT 4
JUPITER INLET BEACH COLONY
(COASTAL CONSTRUCTION CONTROL LINE)
PREPARED FOR:
CEA BUILDING GROUP LLC

CAD.	K:\AUTOCAD2000 \ 314043 \ 24-139 \ 23-044 \DWG\ 23-044-112.DWG		
REF.			
FLD. K.F.	FB. 826	PG. 28-30	JOB 23-044-112
OFF. M.R.			DATE 04/27/2023
CKD. K.J.B.	SHEET 1	OF 2	DWG. D23-044

K:\AUTOCAD2000\314043\24-139\23-044\dwg\23-044-112-.dwg, 1/5/2024 9:06:40 AM, DWG To PDF.pc3

From:	Chuck Yannette
To:	Bill Whiteford
Cc:	"Mitch Miller"; "Sam Miller"; "Michael Armato"; "Matthew Percy"; Chad M. Gruber, P.E.
Subject:	4 Ocean Drive - Gooch Residence
Date:	Wednesday, November 15, 2023 3:38:36 PM
Attachments:	Gooch 10-00 CS-1.pdf Gooch 10-01 H-1.pdf Gooch 10-02 L-1.pdf Gooch 10-03 L-2.pdf

---

Bill – Mitch Miller and I have been working with Roger Siboni to address concerns regarding ocean views from his property looking northeast across the Gooch property. I've attached a revised hardscape/landscape plan set reflecting improvements which include the following:

- The 6' high wall along the south property line was revised to remove approximately 15' from the eastern end.
- The retaining wall on the east side of the site was shifted westward at the southeast corner to align with the new end of south wall.
- The easternmost 20' of the south wall is lowered so the top is at elevation 17.0'. This makes the wall about 3' high from the neighbor's grade.
- One proposed Coconut palm was removed from the southeast corner of the site.

On the north property line, we also lowered the top of the 6' height wall to elevation 17.0' at the easternmost end (from the steps accessing the dune crossover to the eastern end of the wall, approx. 16.5' length).

We believe these improvements will help maintain ocean views for adjacent neighbors. Please let me know if you have any questions.

Thank you,

Chuck Yannette, PLA

PARKER • YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS

4425 Military Trail, Suite 202
Jupiter, Florida 33458
Office: (561) 747-5069 Fax: (561) 747-2041
License Number LA-0001347

Please visit us on the web: http://www.pydg.com

Landscape Lighting Table

SYM.	QTY.	MOUNT TYPE	MOUNT HT.	MANUFACTURER/CATALOG NO.	LAMP TYPE, COLOR AND WATTS
A	2	Accent Light	18"	Aurora HSL20-LM-50-12-W-27-FR-18-AGS-NAT	12V 12W LED (550 Lumens, 2700K Temp)
E	14	Path Light	24"	Aurora LPL8-AMBD-G/S-BLP	6W LED (356 Lumens, Amber Color)

NOTES:

- MOUNT ALL ABOVE GROUND FIXTURES ON 9000-RPT-BK POWER STAKE.
- INSTALL ALL WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.

Site Data

LOT SIZE: 16,806 S.F.

TOTAL LANDSCAPE AREA: 9,417 S.F.
LANDSCAPE COVERAGE: 56.0% (50.0% MIN.)

IMPERVIOUS AREA: 7,389 S.F.
IMPERVIOUS COVERAGE: 44.0% (50.0% MAX.)

FRONT YARD AREA: 2,113 S.F.
FRONT YARD LANDSCAPE AREA: 1,058 S.F.
FRONT YARD LANDSCAPE COVERAGE: 50.1% (50.0% MIN.)

NOTE: SEE ARCHITECT'S PLANS FOR PROPOSED LOT COVERAGE

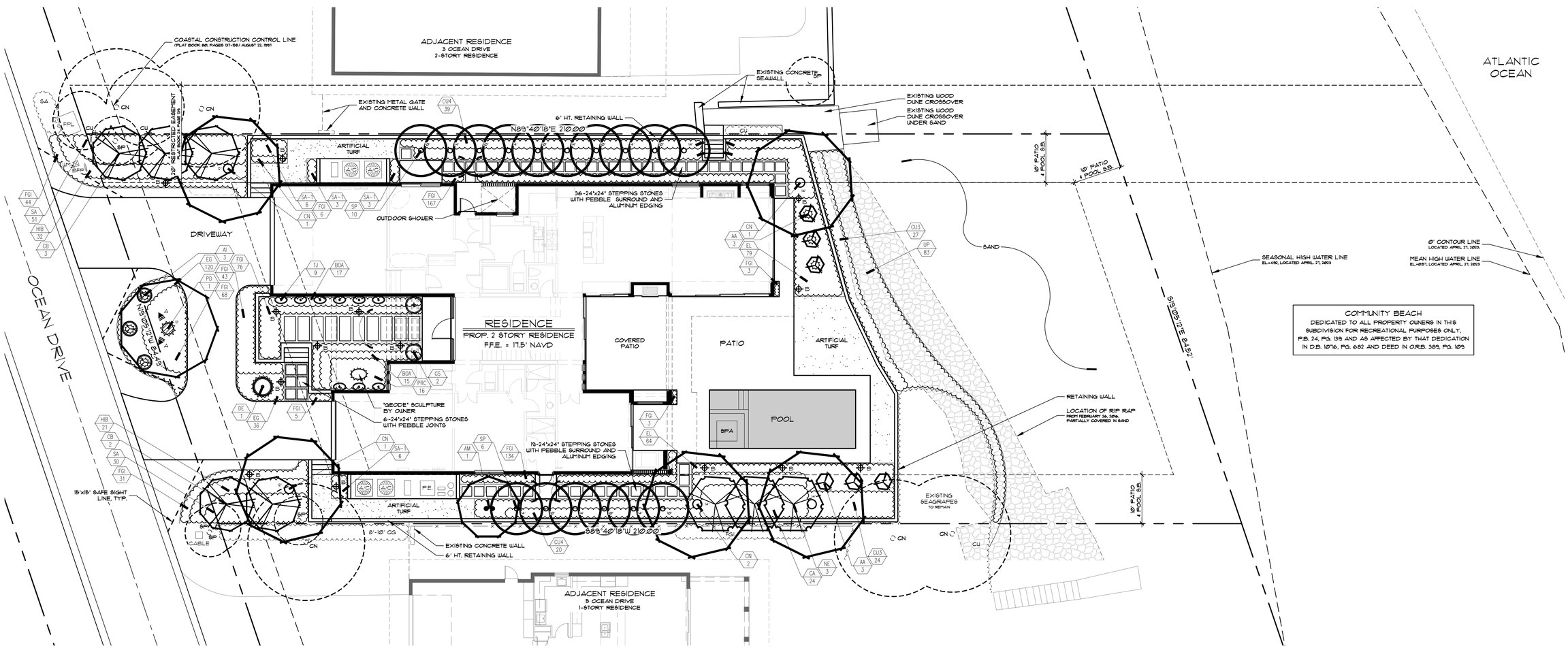
Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing tree/palm to be relocated on site
- Existing vegetation to remain
- Existing vegetation to be removed

Existing Plant Key

CG = Clusia guttifera / Small Leaf Clusia
CN = Cocos nucifera / Coconut Palm
CU = Coccoloba uvifera / Sea Grape
FGI = Ficus microcarpa 'Green Island' / Green Island Ficus
SA = Schefflera actinophylla / Duwt Schefflera
SF = Scaevola frutescens / Scaevola
SP = Sabal palmetto / Cabbage Palm
UP = Uniola paniculata / Sea Oats

NOTE: Existing shrubs not shown on plan are to be removed.



PARKER·YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS

4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone:(561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com

License #LA0001347

GOOCH RESIDENCE
4 OCEAN DRIVE
JUPITER INLET COLONY, FLORIDA
PLANTING PLAN

DATE: 8.8.2023
DRAWN BY: CCY/BMS
JOB NO.: 23-064
SCALE: 1"=10'-0"
FILENAME: Gooch 10

REVISIONS:
11.14.23

SHEET:
L-1

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

MEASUREMENTS

Trees: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "V" crotches that could be points of weak limb structure or disease infestation.

Shrubs: Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.

Palms: Clear Trunk (C.T.) shall be measured from the ground at the time of installation to the point where the mature aged trunk joins the immature or green portion of the trunk or the head.

Overall height (O.H.) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with marred or burned trunks will not be accepted.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16-7-12	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7-15 gal.	1/2 lb.	4
1"-6" caliper	2 lbs./1" caliper	2/1" caliper
6" and larger	3 lbs./1" caliper	2/1" caliper

"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

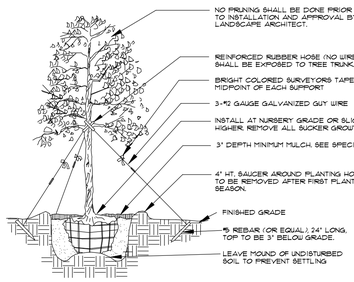
MULCH

Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

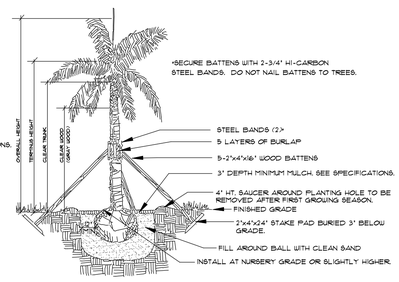
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

Planting Details



Tree Planting

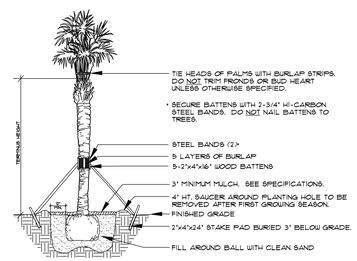
- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
- BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT & MAINTAIN A VERTICAL POSITION.



Palm Planting

APPLIES TO: ROYAL PALMS, QUEEN PALMS, ALEXANDER PALMS, MANILA PALMS.

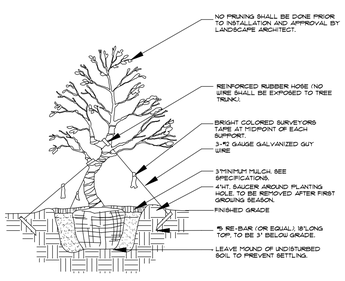
- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION
- BRACING: SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



Palm Planting

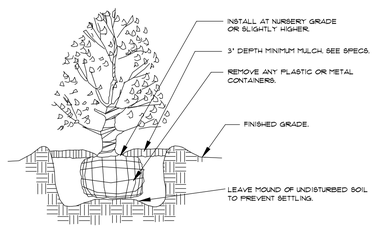
APPLIES TO: SABAL PALMS, WASHINGTON PALMS, CANARY ISLAND DATE PALMS, SENEGAL DATE PALMS

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION



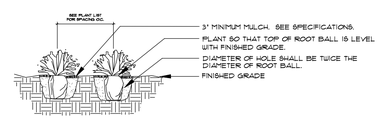
Irregular & Multi-Stem Tree Planting

FOR TREES 6'-14'HT.
NOTES:
SEE SPECIFICATIONS FOR BACKFILL MIXTURES AND FERTILIZATION.
BRACING-SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



Shrub Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



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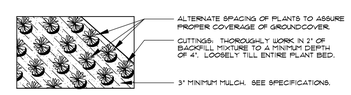

Plan

Groundcover Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

Plant List

	SYM	QTY	NAME	SPECIFICATIONS
	PALMS			
O	AM	1	Adonidia merrillii / Christmas Palm	7' c.t., double stem, full frond
O	CN	5	Cocos nucifera 'Green Malayan' / Coconut Palm	2@12', 4@14' c.w., heavy cal., full frond
O	PD	1	Phoenix dactylifera 'Medjool' / Medjool Date Palm	10' c.t., heavy caliper, full frond, Florida Fancy
* O	SP	16	Sabal palmetto / Cabbage Palm	8@10', 8@14' c.t., slick trunk, full head
	TREES			
O	CB	5	Calophyllum brasiliense / Brazilian Beautyleaf	10' x 6', limbed up, full canopy, matching, Florida Fancy
O	NE	3	Noronhia emarginata / Madagascar Olive	10' x 6', limbed up, full canopy, matching, Florida Fancy
	ACCENTS / SHRUBS / GROUNDCOVER / VINES			
	AA	6	Agave americana / Century Plant	32" x 32", full
O	AI	3	Alcantarea imperialis / Vriesea	7 gal., 32" x 32", full
O	BOA	32	Begonia odorata 'Alba' / White Angel Wing Begonia	3 gal., 18" x 20", full
O	CA	24	Crinum asiaticum / Crinum Lily	10 gal., 34" x 32", multi-head, full
* O	CU3	51	Coccoloba uvifera / Sea Grape	3 gal., 26" x 24", full
* O	CU4	59	Coccoloba uvifera / Sea Grape	7 gal., 42" x 30", full
O	DE	1	Dioon edule / Mexican Cycad	3' x 30", full
O	EG	156	Evolvulus glomeratus 'Blue My Mind' / Blue Daze	1 gal., 12" x 14", full
* O	EL	143	Ernodea littoralis / Golden Beach Creeper	3 gal., 14" x 18", full
O	FGI	580	Ficus 'Green Island' / Green Island Ficus	3 gal., 14" x 18", full
O	GS	2	Garcinia spicata / Mangosteen	5' x 3', full to base
	HIB	53	Hibiscus / Hibiscus shrub	3 gal., 24" x 22", full to base, white flower, red throat
O	PRC	16	Philodendron 'Rojo Congo'	7 gal., 24" x 30", full
O	SA	81	Schefflera arboricola / Dwarf Schefflera	3 gal., 24" x 22", full
O	SA-1	18	Schefflera arboricola / Dwarf Schefflera	7 gal., 4' x 3', full
O	TJ	9	Trachelospermum jasminoides / Confederate Jasmine	8' ht., full to base, espalier to wall
* O	UP	83	Uniola paniculata / Sea Oats	4" clump, 24" o.c.
	MISCELLANEOUS			
	SOD		Stenotaphrum secundatum 'Palmetto' / St. Augustine 'Palmetto'	Solid sod, laid tight

O Denotes Drought Tolerance

* Denotes Florida Native Species

Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.

- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.

- All plant materials and sod shall have an automatic irrigation system providing 100% coverage. Said system shall consist of an automatic or electronic sensing device or switch that will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.

- Maintain positive drainage away from residence.

- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.

- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.

- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.

- Invasive species, including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.

PARKER•YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
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Jupiter, Florida 33458

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Fax: (561) 747-2041
Email: mail@pydg.com

License #LA0001347

GOOCH RESIDENCE
4 OCEAN DRIVE
JUPITER INLET COLONY, FLORIDA
PLANT LIST, DETAILS, AND SPECIFICATIONS

DATE: 8.8.2023
DRAWN BY: CCY/BMS
JOB NO.: 23-064
SCALE: N/A
FILENAME: Gooch 10

REVISIONS:
11.14.23

SHEET:
L-2

Layout Notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
4. ALL FILL FOR BERMING AND PLANTING BROUGHT TO THE SITE SHALL BE CLEAN, FRIABLE SANDY LOAM OF SLIGHTLY ACID TO NEUTRAL PH. ALL FILL SHALL BE FREE FROM STICKS, ROCKS MARL, SOD AND OTHER DEBRIS.
5. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION AND ELECTRIC SLEEVES TO ALL PLANTERS.

Drainage Notes

1. MATCH ALL EXISTING GRADES ALONG SIDE PROPERTY LINES.
2. PROVIDE SWALES ON BOTH SIDE PROPERTY LINES. NO WATER SHALL DRAIN ONTO NEIGHBORS PROPERTY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE SITE DRAINAGE AWAY FROM ALL STRUCTURES INCLUDING BUT NOT LIMITED TO PLANTERS, COURTYARD PLANTING AREAS, HARDSCAPE SURFACES AND ARCHITECTURAL ELEMENTS.
4. CONTRACTOR SHALL PROVIDE DRAINAGE FROM ALL PLANTERS.

Site Data

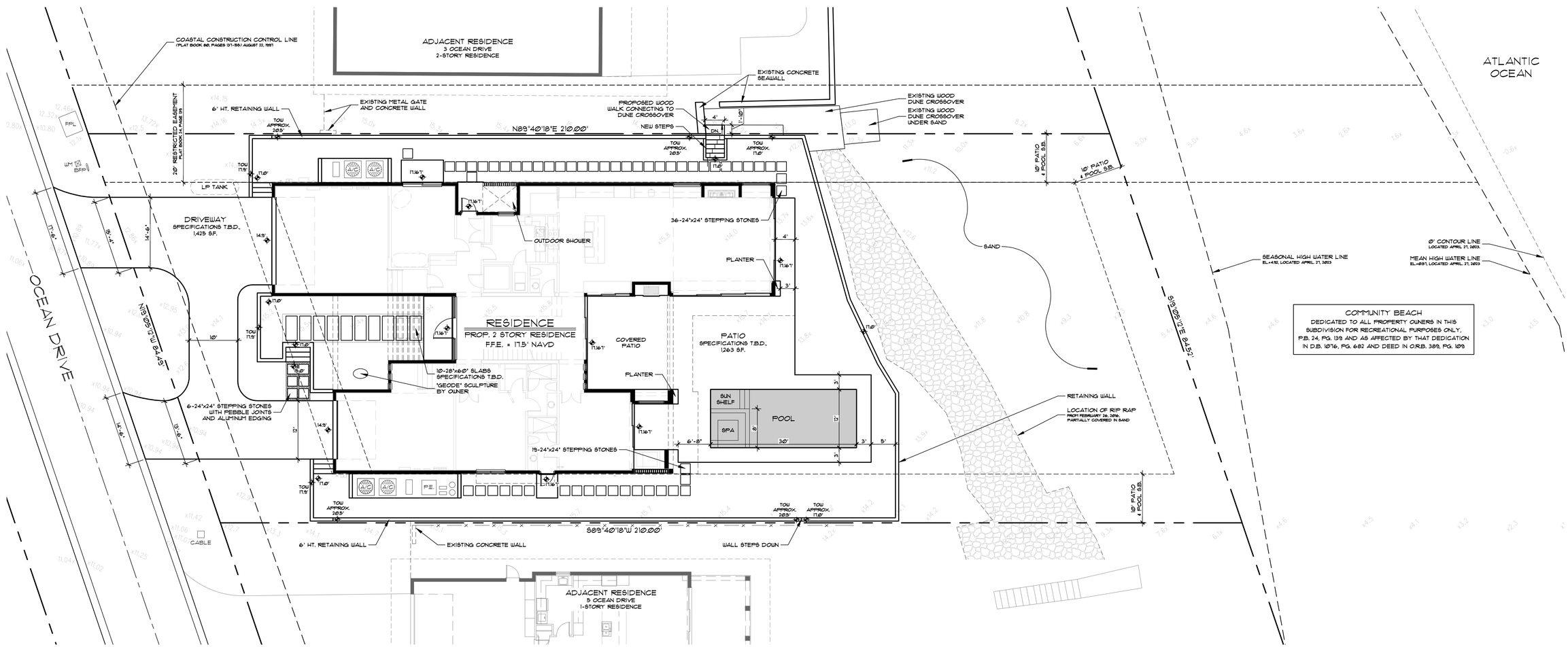
LOT SIZE: 16,806 S.F.

TOTAL LANDSCAPE AREA: 9,417 S.F.
LANDSCAPE COVERAGE: 56.0% (50.0% MIN.)

IMPERVIOUS AREA: 7,389 S.F.
IMPERVIOUS COVERAGE: 44.0% (50.0% MAX.)

FRONT YARD AREA: 2,113 S.F.
FRONT YARD LANDSCAPE AREA: 1,058 S.F.
FRONT YARD LANDSCAPE COVERAGE: 50.1% (50.0% MIN.)

NOTE: SEE ARCHITECT'S PLANS FOR PROPOSED LOT COVERAGE



PARKER·YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone:(561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com

License #LA0001347

GOOCH RESIDENCE

4 OCEAN DRIVE
JUPITER INLET COLONY, FLORIDA

HARDSCAPE PLAN

DATE: 8.8.2023
DRAWN BY: CCY/BMS
JOB NO.: 23-064
SCALE: 1"=10'-0"
FILENAME: Gooch 10

REVISIONS:
11.14.23

SHEET:
H-1

STATE OF FLORIDA E&SC DESIGNER & REVIEWER MANUAL; LATEST EDITION: JULY 2013

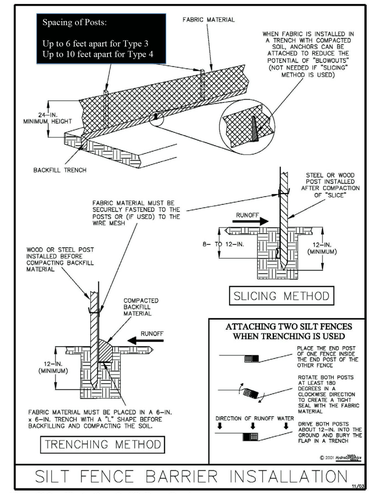


Figure V-2: Illustration of a Silt Fence Barrier

EROSION CONTROL DETAIL

SCALE: N.T.S.

Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing tree/palm to be relocated on site
- Existing vegetation to remain
- Existing vegetation to be removed

Existing Plant Key

CG = Clusia guttifera / Small Leaf Clusia
CN = Cocos nucifera / Coconut Palm
CU = Coccoloba uvifera / Sea Grape
FGI = Ficus microcarpa 'Green Island' / Green Island Ficus
SA = Schefflera arboricola / Dwarf Schefflera
SF = Scaevola frutescens / Scaevola
SP = Sabal palmetto / Cabbage Palm
UP = Uniola paniculata / Sea Oats

NOTE: Existing shrubs not shown on plan are to be removed.

Construction Notes

-Construction hours: Monday through Friday, 8 AM to 5 PM, and Saturday 9 AM to 5 PM.

-A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.

-Vehicles shall park in a line perpendicular to road and house. Overflow vehicles shall park on road in direction of traffic flow with care not to block mailboxes, fire hydrants or neighboring driveways.

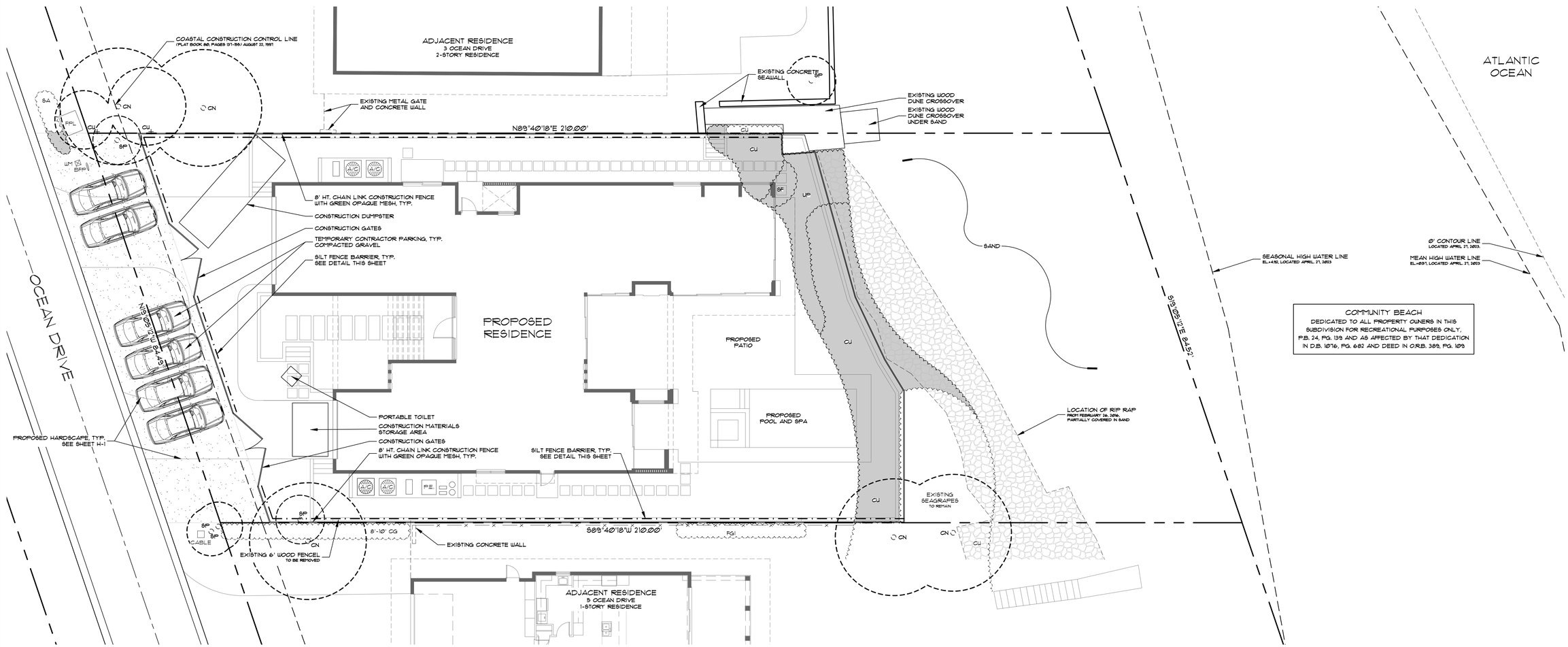
-General contractor shall ensure protection of existing valley gutter, minimally with a plywood covering, and repair in the event of damage to the gutter.

-Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.

-A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.

-The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.

-The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.



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GOOCH RESIDENCE

4 OCEAN DRIVE
JUPITER INLET COLONY, FLORIDA
CONSTRUCTION MANAGEMENT PLAN

DATE: 8.8.2023
DRAWN BY: CCY/BMS
JOB NO.: 23-064
SCALE: 1"=10'-0"
FILENAME: Gooch 10

REVISIONS:
11.14.23

SHEET:
CS-1

Schedule - Event - A Cause Drive - Desoch

Title	Start	Duration
Closure Event	01-12-2021	10 days
Pre-Planning Event	01-01-2024	30 days
Pre-Planning Event Closure	01-02-2024	1 day
Post-Mortem Event	01-12-2024	30 days
Post-Mortem Closure	01-01-2025	1 day
Planning Committee	01-01-2024	1 day
Venue Hunting	01-01-2024	30 days
Venue Contract	01-02-2024	1 day
Venue Deposit	01-02-2024	1 day
Logo Idea	01-01-2024	30 days
Logo Finalized	01-02-2024	1 day
Logo Finalized Closure	01-03-2024	1 day
Artwork Creation	01-01-2024	1 day
Artwork Tag Out Event	01-03-2024	30 days
Artwork Tag Out Closure	01-04-2024	1 day
Marketing Campaign	01-01-2024	30 days
Pre-Sales	01-11-2024	30 days
Pre-Sales Closure	01-12-2024	1 day
Transition Meeting/Lessons Learned Meeting	01-01-2025	30 days
Start Time Tickets Sales Up	01-11-2024	30 days
Ticket Sales Closure	01-12-2024	1 day
Transition Meeting/Lessons Learned	01-01-2025	30 days
Ticket Reservation Closure Date	01-01-2025	1 day

CFN 20230032908
OR BK 34096 PG 1042
RECORDED 1/31/2023 7:53 AM
Palm Beach County, Florida
Joseph Abruzzo, Clerk
Pgs: 1042 - 1044; (3pgs)

Document prepared by
and Return Recorded Copy to:
Nicole C. Morris, Esq.
The Law Office of Nicole C. Morris, P.A.
3825 PGA Blvd., Suite 207
Palm Beach Gardens, FL 33410

PCN: 32-43-40-31-01-000-0030

RELEASE OF UNITY OF TITLE

WHEREAS, on February 14, 2002, **VINCENT BOLLING, JR.**, the owner at the time of the real property located at 3 Ocean Drive, Jupiter Inlet Colony, FL 33469 ("Property") entered into a *Unity of Title* pertaining to the use of said Property, as described herein, which such *Unity of Title* was recorded on February 15, 2002 in Official Records Book 13419, Page 0625 of the Public Records of Palm Beach County, Florida; and

WHEREAS, **AGREEMENT OF TRUST FOR ELANA J. BOLLING U/A/D 11/30/1993**, currently owns the Property ("Property Owner"), legally described as:

JUPITER INLET BEACH COLONY LTS 3 & 4
PCN: 32-43-40-31-01-000-0030

WHEREAS, such *Unity of Title* declared that the Property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be encumbered, mortgaged, sold, transferred, divided, conveyed, devised or assigned separately, except in its entirety as one plot or parcel of land; and

WHEREAS, the Property Owner has requested that the *Unity of Title* be canceled and released; and

WHEREAS, the Town of Jupiter Inlet Colony ("Town") is willing to cancel and release this *Unity of Title;*

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owner and Town agree as follows:

1. Recitals. The above recitals are true and correct and incorporated herein by reference.

2. Release. The *Unity of Title* is hereby canceled and released and shall have no further force or effect and that Lots 3 & 4 shall be deemed two separate plots or parcels of land.

3. Counterparts/Electronic Signature. This *Release of Unity of Title* may be executed in any number of counterparts, each of which so executed shall be deemed to be an original, and such counterparts shall together constitute but one and the same instrument. The parties shall be entitled to sign and transmit an electronic signature of this instrument (whether by facsimile, PDF or other email transmission), which signature shall be binding on the party whose name is contained therein. Any party providing an electronic signature agrees to promptly execute and deliver to the other parties an original signed instrument upon request.

4. Recording. This *Release of Unity of Title* will be recorded in the public records of Palm Beach County, Florida upon full execution.

IN WITNESS WHEREOF, Signed, witnessed, executed and acknowledged this 10th day of January, 2023.

ARMAND L. BOLLING, Successor Co-Trustee of the **AGREEMENT OF TRUST FOR ELANA J. BOLLING**

Witness #1 Signature
Witness #1 Print Name: Alexa Bard

Witness #2 Signature
Witness #2 Print Name: Ariel Paretz

STATE OF FLORIDA)
)ss:
COUNTY OF PALM BEACH)

SUBSCRIBED AND ACKNOWLEDGED before me in person by **ARMAND L. BOLLING, Successor Co-Trustee of the AGREEMENT OF TRUST FOR ELANA J. BOLLING**, who is personally known to me on this 11th day of January, 2023.

[SEAL]

NICOLE C. MORRIS
MY COMMISSION EXPIRES JUNE 13, 2025
#HH 107436
Bonded thru Notary Public Underwriters
NOTARY PUBLIC, STATE OF FLORIDA

NOTARY PUBLIC

ANTHONY RIZZO, Successor Co-Trustee of the **AGREEMENT OF TRUST FOR ELANA J. BOLLING**

Witness #1 Signature
Witness #1 Print Name: Ariel Paretz

Witness #2 Signature
Witness #2 Print Name: Samantha Simpson

STATE OF FLORIDA)
)ss:
COUNTY OF PALM BEACH)

SUBSCRIBED AND ACKNOWLEDGED before me in person by **ANTHONY RIZZO, Successor Co-Trustee of the AGREEMENT OF TRUST FOR ELANA J. BOLLING**, who is personally known to me on this 10 day of January, 2023.

[SEAL]

NICOLE C. MORRIS
MY COMMISSION EXPIRES JUNE 13, 2025
#HH 107436
Bonded thru Notary Public Underwriters
NOTARY PUBLIC, STATE OF FLORIDA

NOTARY PUBLIC

TOWN OF JUPITER INLET COLONY

By: DR. DANIEL J. COMERFORD, III
It's: Mayor

Witness #1 Signature
Witness #1 Print Name: LATOYA J. THOMPSON

Witness #2 Signature
Witness #2 Print Name: KATHI CORNELIUS

STATE OF FLORIDA)
)ss:
COUNTY OF PALM BEACH)

SUBSCRIBED AND ACKNOWLEDGED before me in person by **DR. DANIEL J. COMERFORD, III**, in his capacity as the Mayor of the Town of Jupiter Inlet Colony, who is personally known to me on this 18th day of January, 2023.

[SEAL]

IVELISSE CHICO-RANDAZZO
Notary Public - State of Florida
Commission # HH 46767
My Comm. Expires Sep 27, 2024
Bonded through National Notary Assn.

NOTARY PUBLIC

Prepared by and return to:
Town of Jupiter Inlet Colony
50 Colony Road
Jupiter Inlet Colony, FL 33469

AGREEMENT FOR CONSTRUCTION WITHIN EASEMENT

Diane Gooch, a single woman, (hereinafter "Owner") and the Town of Jupiter Inlet Colony, Florida (hereinafter "Town") hereby agree as follows:

WHEREAS, Owner is the owner of certain real property located at 4 Ocean Drive Jupiter Inlet Colony, Florida. (the "Property"). The Property is legally described as follows:

> Lot 4, JUPITER INLET BEACH COLONY, according to the plat thereof recorded in Plat Book 24, page 139 of the public records of Palm Beach County, Florida.
>
> Parcel ID No. 32-43-40-31-01-000-0040

WHEREAS, the Plat for JUPITER INLET BEACH COLONY, as referenced above, depicts an easement described as "U. S. Government Easement" that is located on the north ten (10') feet of the Property; and

WHEREAS, Owner desires to construct a privacy wall, a paver walkway, stairs and mechanical improvements (hereinafter "Improvements") in the area shown as the U.S. Government Easement area and Town desires to approve such construction subject to the terms and conditions as forth herein.

NOW, THEREFORE, in consideration of the mutual covenants, considerations, representation, warranties and promises herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged by each party, the parties agree as follows:

The Town agrees to allow the Improvements described above under the following terms and conditions:

1. Owner shall obtain a building permit prior to construction of the Improvements and agrees that the Improvements will be constructed/installed and maintained in accordance with the Town's Code of Ordinances.

2. Owner agrees to remove or relocate the Improvements at her own expense upon request of the Town. Upon such removal or relocation, Owner agrees to restore the Easement to its previous condition. If Owner fails to do any of the above within ten (10) days of such request, Town may remove or relocate the Improvements and restore the Easement to its previous condition, and Owner agrees to reimburse the Town for any expenses it incurs in connection therewith. Owner understands and acknowledges that the Town will not be responsible in any way for repairs to, or replacement of, the Improvements or any portion thereof.

3. This Agreement shall be recorded, at the Owner's expense (standard fees by the Clerk of the Circuit Court, and the Owner will be billed by the Town Clerk), in the public records of Palm Beach County, Florida and shall be a covenant running with the Property, and shall be binding on the Owner, her successors and assigns.

4. Owner hereby agrees that she will indemnify and hold the Town harmless from and against any and all claims, demands, lawsuits, settlements, damages, costs and expenses, including attorney's fees, suffered or incurred by the Town and arising out of or in connection with the subject matter of this Agreement.

Witnesses:

Owen Stauffer
Print Name

Laura Maggi-Friedman
Print Name

Diane Gooch

Laura Maggi-Friedman
Notary Public
New Jersey
My Commission Expires 4-29-2025
No. 50126806

STATE OF FLORIDA)
COUNTY OF PALM BEACH)

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me by means of (X) physical presence or ( ) online notarization this 29 day of November, 2023 by Diane Gooch, who (X) is personally known to me or ( ) has produced and Drivers licence as identification.

Laura Maggi-Friedman
Notary Public
My Commission Expires:

SHORELINE SEAGRAPE MAINTENANCE AGREEMENT

NAME: Ms. Diane Gooch
PROPERTY ADDRESS: 4 Ocean Drive, Jupiter Inlet Colony. FL 33469

and

NAME: Mr. Roger Siboni
PROPERTY ADDRESS: 5 Ocean Drive, Jupiter Inlet Colony. FL 33469

I, Diane Gooch and Roger Siboni, in order to protect and maintain ocean views across each other's property while providing protection from beach erosion, agree to a shared maintenance of the Seagrapes along our adjoining shoreline. The maintenance of the Seagrapes will be administered by Rob Mancuso aka "Ocean Breeze" or the current maintenance company used by the town of Jupiter Inlet Colony. In order to maintain the continuity of sea grape coverage, the Seagrapes shall be maintained to a height no higher than 3' above grade measured along the east side of the retaining wall along the rear of the Gooch property and tapering down to a height of about 24" and/or matching the Seagrapes along the rear of the Siboni property. The expense shall be based upon the relative square footage and be billed separately on a quarterly maintenance basis or as mutually agreed upon depending on growth.

The terms of this agreement shall be construed as the entire agreement and may not be altered, amended, or modified except in writing and signed by both parties. The terms of this agreement shall be governed by the laws of the State of Florida.

Date: 12/7/23 Signed: _____
(Ms. Diane Gooch)

Date: 12/6/2023 Signed: _____
(Mr. Roger Siboni)

Florida Department of Environmental Protection
Office of Resilience and Coastal Protection
Coastal Construction Control Line Program
CCCL@dep.state.fl.us
(850) 245-2094

CCCL Dune Plant Maintenance Guidelines

These guidelines provide best management practices for maintenance of seagrapes and other salt tolerant dune plants protected seaward of a coastal construction control line by state law 161.053 (2)(a), Florida Statutes.

Beach – Dune Vegetation

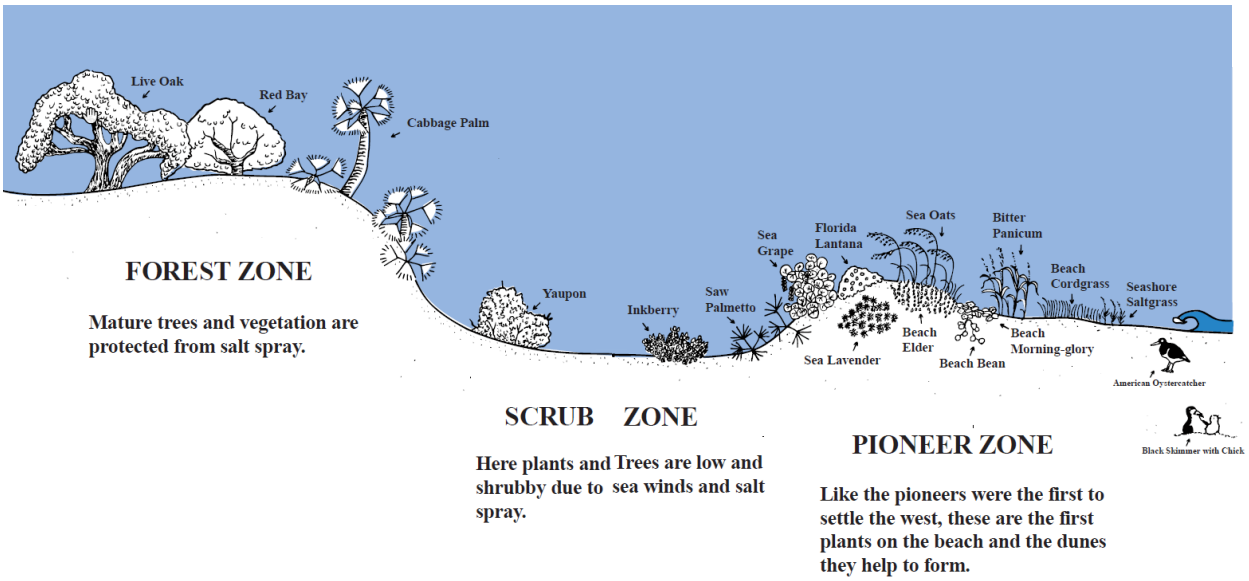

Figure 1: Diagram of pioneer, scrub (or strand) and forest zones of dunes within a typical Florida beach and dune system.

Sea oats, seagrapes and other plants growing on Florida dunes give significant benefits to beaches, dunes, upland properties and wildlife. Salt tolerant dune plants:

- build protective dunes by trapping and stabilizing wind-blown beach sand,
- reduce erosion losses by wind and storms,
- provide a buffer against storm surges and salt spray,
- provide shelter for wildlife, and
- block light pollution for nesting and hatchling sea turtles.

Dune plants are resilient and adapted to survive storms and grow back through natural recovery processes. At the same time, dune plants can be easily damaged by construction and other human activities and require much longer recovery times. It is important to conduct dune plant maintenance so that the plants are not permanently damaged and sea turtles and dune systems are protected.

What are Dune Plants?

Dune plants are those native trees, shrubs, grasses, groundcovers and other plants found in beach dune, coastal berm, coastal grassland, coastal strand and maritime hammock natural communities as described by the Florida Natural Areas Inventory (see Guide to the Natural Communities of Florida – 2010 Edition). Native plants are those species documented as native or endemic in the Atlas of Florida Vascular Plants maintained by the Institute for Systematic Botany. Nuisance or Invasive Exotic Plant Species are those species listed in the Florida Exotic Pest Plant Council's List of Category I and II Invasive Species. Plants that have been intentionally planted or installed, or inadvertently introduced into the dune system for purposes other than for dune restoration are considered to be ornamental or landscape plantings.

What are the State Laws related to Dune Plant Maintenance?

Beach-dune plant damage or removal located seaward of a state of Florida coastal construction control line (CCCL) is regulated under section 161.053, Florida Statutes (F.S.). Additional protections for sea oats, *Uniola paniculata*, and seagrapes, *Coccoloba uvifera,* are found in section 161.242, F.S. CCCL regulations do not supersede more stringent requirements of other laws or jurisdictions that may be in effect, or the protection of endangered, threatened or commercially exploited plants regulated under Chapter 581 of the Florida Statutes, and Rule Chapter 5B-40, of the Florida Administrative Code.

In recognition of the storm buffer services of dune plants, Florida law states that no person, firm, corporation, or governmental agency shall damage or cause to be damaged sand dunes or the vegetation growing on them without a permit from the Florida Department of Environmental Protection (FDEP) (subparagraph 161.053(2)(a), Florida Statutes). Consequently, FDEP Coastal Construction Control Line Program (CCCL) rules in Chapter 62B-33, Florida Administrative Code, protect these important native salt-tolerant dune plants from damage. On dune systems seaward of the Department's Coastal Construction Control Line, property owners or their agents cannot cut down or damage beach dune plants without a CCCL permit. Landscape plant maintenance activities that target ornamental or introduced non-native species or do not damage native beach-dune vegetation or involve excavation do not require CCCL permits and are exempt from CCCL permit application requirements under subparagraph 161.053(11)(c)2, F.S.

What "Damages" Dune Plants?

Damage to vegetation refers to a material reduction in the health of plant from trampling, crushing, chopping, breaking, digging up, or excessive cutting of roots, stems, trunks, branches or leaves of beach dune plants naturally occurring or planted on-site for dune enhancement seaward of a CCCL. Excessive cutting means the removal of roots, branches, stems and leaves in exceedance of accepted horticultural practices, such as the standards published in ANSI A300 Part 1: Tree, Shrub and other Woody Plant Maintenance -Standard Practices, Pruning. Tree and landscape maintenance practices recognize exceptions to the standards and that certain coastal plants adapted to recover from breakage by damaging tropical storm force winds, such as seagrape, *Coccoloba uvifera,* are tolerant of heavy pruning or coppicing. Damage to beach and dune vegetation can be avoided, minimized or mitigated through employment of arborists and other landscape professionals and when following best management practices tailored for the unique physical conditions of coastal dune environments.

What Permits, if any, are Required to Cut Dune Vegetation?

Cutting dune vegetation seaward of a coastal construction control line requires a CCCL permit unless the activity qualifies as a minor activity determined by the department not to have an adverse effect on the coastal system, such as "maintenance of existing beach-dune vegetation" exempted in state law. Vegetation maintenance that does not damage native dune plants includes trimming, shearing, pruning, dead heading and other accepted horticultural practices, and does not require a CCCL permit pursuant to section 161.053(11), F.S. An exemption of the work from CCCL permitting requirements does not shield the property owner from his or her responsibility for following other laws or from enforcement action taken by other local, state, or federal agencies. Furthermore, proper arboricultural and horticultural practices must be followed to ensure that the native beach-dune plants are not damaged or destroyed from the maintenance. Trespass onto another's property to remove vegetation without the property owner's approval is also not allowed.

Figure 2: Sea oats, *Uniola paniculata*, building a dune by trapping and stabilizing windblown beach sand.

CCCL staff are available to assist property owners in determining if the dune maintenance project is exempt, or if not exempt, in processing the proper CCCL permit. CCCL field inspectors can schedule site visits to meet on the property, discuss projects over the phone, and issue CCCL Field Permits as needed. Additionally, property owners can send dune maintenance project information (eg. address, description of work, photographs and plans) to a CCCL permit manager in a consultation request emailed to cccl@dep.state.fl.us. The permit manager can assist with the processing of a CCCL Individual Permit application as needed. Both CCCL field inspector and permit manager contact information is located at the FDEP CCCL webpage or by calling 850/245-2094 and asking for the CCCL staff member assigned to the county of the project.

General Dune Plant Maintenance Guidance

- Work is to be conducted in a way that does not alter or damage dune topography or beach-dune vegetation, require new beach access, disturb marked sea turtle nests or known nest locations, obstruct public access, cause excavation of the ground or damage adjacent properties.
- Any disturbance of the beach or soil surface must be restored to a stable, pre-work condition.
- Removal of beachfront vegetation must not result in the increase of the visibility of artificial light from the beach, nor additional exposure of salt-sensitive plants or property to increased salt spray.
- Vegetation maintenance, trimming, or removal requires the approval of the property owner or if on public property, the approval of the responsible government resource management agency.
- Native dune plants damaged by unauthorized maintenance activities must be replaced to the approval of the Department.

Property owners and others maintaining native vegetation seaward of the Coastal Construction Control Line must consider possible harm to sea turtles. Removal of beachfront vegetation increases the potential for disorientation and subsequent injury or mortality of hatchling sea turtles, which are attracted to light. Pruning or trimming removes vegetation from the canopy that often blocks lights from shining on the beach and thus protects sea turtle nesting habitat. Vegetation maintenance that increases lighting of the beach must be in compliance with section 379.2431, Florida Statutes, "Marine Turtle Protection Act." Information on lighting issues is provided in the publication "Sea Grape Trimming and Sea Turtles," available on the CCCL webpage or by visiting the Florida Fish and Wildlife Conservation Commission sea turtle conservation program website. The Florida Fish and Wildlife Conservation Commission, Imperiled Species Management Section can be reached at 850/922-4330 or marineturtle@myfwc.com.

- If reducing the tree crown or canopy of the dune vegetation, the property owner must evaluate existing or potential sources of light visible from the beach and take appropriate measures to eliminate the possibility of increased light cast on the nesting beach. Before cutting down vegetation seaward of a beach house, property owners can protect sea turtle nesting habitat by replacing light fixtures that are visible from the beach with shielded "can" type or other fixtures.
- Operation, transportation, or storage of equipment or materials, including skid steers, cherry pickers and other equipment on the beach or frontal dune must be scheduled outside sea turtle nesting season, or coordinated with CCCL and FWC staff if proposed during nesting season. This may require engaging the services of a state permitted biologist to ensure that proposed activities avoid all sea turtle nesting, nests and hatchlings.

References

Guide to the Natural Communities of Florida – 2010 Edition.

Atlas of Florida Vascular Plants website maintained by the Institute of Systematic Botany

Florida Exotic Pest Plant Council's List of Category I and II Invasive Species

Florida Beach and Shore Preservation Act, Chapter 161, Florida Statutes, (go to Online Sunshine)

ANSI A300 Pruning Standard – Part 1 "*Tree, Shrub, and Other Woody Plant Management – Standard Practices (Pruning)* ; American National Standards Institute.

Coastal Construction Control Line Program, FDEP. (see website)

Coastal Construction Control Line Program

Florida Department of Environmental Protection
Office of Resilience and Coastal Protection
Bob Martinez Center, Suite 505
2600 Blair Stone Road, MS 3522
Tallahassee, Florida 32399-2400
Email: cccl@dep.state.fl.us
Website: www.FloridaDEP.gov/CCCL

JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE REVIEW STANDARDS

MASS AND VOLUME

Zoning Code Section 10.1. - Development standards for single family residences.

Mass and Volume Distribution. Because lots within the town are limited in size, the massing and volume of any new residential building or addition *should be sensitive to the profiles of adjacent buildings and should locate second stories adequately to reduce the apparent overall scale of the building.* Second story windows, decks, terraces, and balconies for new construction *shall be designed and located to ensure privacy for adjacent properties* to the extent possible. (*emphasis added*)

IMPACT REVIEW STANDARDS AND DECISIONS

Ordinance 02-2021

Procedures: Standards for Review. In performing its impact review analysis, the Building and Zoning Committee shall approve an application if the Applicant demonstrates that:

a. The proposed development will not adversely affect the public interest; and

b. The mass, scale and height of the proposed development is consistent with the surrounding properties and neighborhood character; and

c. The proposed development will not adversely affect adjoining properties; and

d. For development on waterfront properties, the proposed development is sensitive to and preserves views from adjoining properties as much as is practicable.

Decisions: Appeals. In performing its impact review analysis, the Building and Zoning Committee shall either approve, approve with conditions, or deny an application for development approval. In the event the Building and Zoning Committee finds that an application meets the requirements of this Section, then the application shall be approved. In the event the Building and Zoning Committee approves the application with conditions or denies the application, the Applicant may either amend its development application in compliance with the decision of the Building and Zoning Committee or may appeal the decision to the Town Commission. …

JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING
01-18-2024

Conditions of Approval: #4 Ocean Drive

1) A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.

2) Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.

3) A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.

4) The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.

5) The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.

6) Prior to the issuance of a building permit, the property owner shall enter into a removal agreement for the area encumbered by an existing easement along the north property line.

7) Prior to the issuance of a building permit, the property owner shall enter into an agreement with the property owner to the north allowing shared access and use of the dune walkover at #3 Ocean Drive.

8) The property owner shall maintain all vegetation east of the oceanside retaining wall to ensure existing views of the Atlantic Ocean and public beach to the north and south are maintained from abutting properties.

9) During construction, the general contactor shall provide the Town quarterly updates regarding the construction schedule, major milestones, and timeline to complete the residence. Any significant deviation from the schedule shall require review and approval by the Building and Zoning Committee.

MINIMUM LANDSCAPE REQUIREMENTS

At the request of the Town Commission on January 8, 2024, the Planning and Zoning Administrator has been directed to develop minimum landscape standards for single family residences. The current regulations for landscaping are below and can be generally summarized as follows:

- Landscape plan prepared by a license landscape architect required.
- Minimum required landscape area is based on a percentage of lot size; irrigation required; native vegetation encouraged.
- Design criteria is descriptive and subject to approval by the Building and Zoning Committee.
- Landscape permit required - no certificate of occupancy until all landscaping is in place as shown on approved plan and permit.

Sec. 19-2. - Required residential landscaping.

(a) One-story residence. For a one-story home that conforms to section 10(C)(1) of the Zoning Code, at least forty (40) percent of the land area of a residential property shall be developed, maintained and preserved as lawn, plants, bushes, shrubs, trees and other organic landscape material. For a one-story home that does not conform to section 10(C)(1) of the Zoning Code, the minimum required residential landscaping shall be fifty (50) percent.

(b) Two-story residence. For a two-story home, at least fifty (50) percent of the land area of a residential property shall be developed, maintained and preserved as lawn, plants, bushes, shrubs, trees and other organic landscape material.

(c) Ground cover. Pebbles, gravel, and stones may be used as a mulch or protective ground cover immediately around the base of landscape material in accordance with typical horticultural practices. When used in such a manner, ground cover shall not count toward lot occupancy. When used in any other manner, pebbles, gravel, stones, and other inorganic materials shall count toward lot occupancy. (Ord. No. 04-2014, § 1, 5-12-14; Ord. No. 06-2018 , § 8, 5-14-18)

Sec. 4-7. - Landscaping and landscape plans...

(a) Landscaping and landscape plans:

(1) At the time that application is made for a building permit for new construction, a building repair or renovation that has the effect of relocating exterior walls of a structure or a repair or renovation to an existing structure the cost of which exceeds the amounts set forth in Section 9(D)(2) or (4) of Appendix A - Zoning Code, there shall be submitted additionally two (2) copies of landscape plans for the premises. Such landscape plans shall provide for sodding, shrubs, trees or ornamental landscaping conforming generally with that displayed in the community. All plantings will be defined on the landscape plan by both common and scientific name. The applicant shall use native species in landscaping and native dune vegetation when restoring dune systems. South Florida Water Management District Xeriscape practices shall be used in connection with these landscape regulations when considering proposals for development and/or redevelopment. No landscaping shall be installed prior to issuance of a landscape permit by the planning and zoning

administrator upon review and approval of the building and zoning committee. No certificate of occupancy shall be issued until all landscaping is in place as set forth on the approved plan and permit.

(2) Necessary access ways from public rights-of-way through all required landscaped areas shall be permitted to service the open land use.

(3) All landscaped areas and plantings shall be provided with automatic irrigation facilities.

(4) In cases where hedges or continuous screening, or a structure already exist on the front property line to a height of at least four (4) feet, no planting strip nor trees shall be required.

(5) The town shall require the use of native vegetation in landscaping and native dune vegetation in dune areas. South Florida Water Management District Xeriscape practices shall be used in connection with these landscape regulations when considering proposals for development and/or redevelopment.

(6) Whenever appropriate, existing trees shall be conserved and integrated into the landscaping design plan.

RECOMMENDATIONS:

1. Develop minimum prescriptive requirements for single family residences, and
2. Schedule final landscape inspection on all new development or require an affidavit by the landscape architect of record confirming all landscaping is in place as shown on the approved plan and permit.